

# GRAND VALLEY & DISTRICT COMMUNITY CENTRE

## Board Meeting Agenda

Monday December 11, 2023, 5:30 PM

Grand Valley & District Community Centre - Boardroom

90 Main Street North, Grand Valley

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- 1. Call to order**
- 2. Agenda Approval**
  - 2.1. December 11, 2023
- 3. Disclosure of Pecuniary Interest**
- 4. Minutes of Previous Meetings**
  - 4.1. November 13, 2023
- 5. Business arising from minutes**
- 6. Deputations/Presentations**
- 7. Arena Manager's Report**
  - 7.1 Arena Expansion
- 8. Correspondence**
  - 8.1 Housekeeping Complaint
- 9. Financial Reports**
  - 9.1. Accounts Payable
  - 9.2. Accounts Receivable
  - 9.3. Budget variance
- 10. Unfinished Business**
  - 10.1. Renovation project
  - 10.2. Performance/hourly review
- 11. New Business**
  - 11.1 Employee Parking
- 12. Confirmation of Meeting**
- 13. Adjournment**

# GRAND VALLEY & DISTRICT COMMUNITY CENTRE

## Board Meeting Minutes

Monday November 13, 2023, 4:30 PM

Grand Valley & District Community Centre - Boardroom

90 Main Street North, Grand Valley

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### **Present:**

Gail Little, Chair

Deb Halls, Vice Chair

Sue Graham

Clinton Taylor

Jeremy Zukowski

Paul Latam

Steve Soloman

James Allen

Helena Snider, Secretary/Treasurer

**Regrets:** Brett Lyons

### **1. Call to order**

Chair Little called meeting to order at 4:34pm.

### **2. Agenda Approval**

2.1 November 13, 2023

#### **Resolution 2023-11-01**

Moved by S. Soloman, Seconded by D. Halls

**BE IT RESOLVED THAT** the November 13, 2023 regular meeting agenda be approved as circulated.

**CARRIED**

### **3. Disclosure of Pecuniary Interest**

### **4. Minutes of Previous Meetings**

4.1 October 16, 2023

#### **Resolution 2023-11-02**

Moved by P. Latam, Seconded by S. Graham

**BE IT RESOLVED THAT** the minutes of October 16, 2023, be adopted as circulated.

***CARRIED***

**5. Business arising from minutes.**

**6. Deputations/Presentations**

**7. Arena Manager's Report**

7.1 Snack Bar Inspection Report

J. Allen summarized the Snack Bar Inspection Report and areas of concern would be addressed. J. Allen indicated Wellington-Dufferin-Guelph Public Health requested;

- A certified food handler be present on-site at all times of operation.
- Equipment and utensils sanitation be completed.
- Grease traps are maintained and cleaned regularly.

The Board directed J. Allen to address the concerns of Wellington-Dufferin-Guelph Public Health and report back to the Board.

G. Little and S. Graham addressed concerns relating to the Grand River room kitchen received from the Auxiliary Members who used the facility for the Remembrance Day celebration, these included;

- Cleanliness of the sinks and underside
- Cleanliness, operation, and maintenance of the dishwasher
- Cleanliness of the floor, tables; and
- Lack of cleaning supplies, including dish soap or tea towels

The Board considered these concerns and suggested J. Allen speak with cleaning staff or consider additional cleaning through contracted services.

## 7.2 Community Centre Inspection Report

J. Allen summarized the Banquet Hall Inspection Report and areas of concern would be addressed. J. Allen indicated Wellington-Dufferin-Guelph Public Health requested;

- Food contact surfaces cleaned and sanitized after each use.
- Proper manual dishwashing procedure followed.

The Board directed J. Allen to address the concerns of Wellington-Dufferin-Guelph Public Health and report back to the Board.

## 7.3 OMERS Correspondence

J. Allen summarized his concerns to the Board regarding OMERS. There was discussion between the Board, J. Allen and the secretary/treasurer regarding OMERS and the decision to offer it to the arena employees. The Board decided to continue offering OMERS to the arena employees.

## 7.4 Summer Camp Report

J. Allen summarized his report to the Board regarding the outcome of Summer Camp. G. Little asked why the grand funding was less than what was previously provided to the Board in communications. J. Allen advised that there were cuts in funding everywhere.

S. Soloman asked if there is anything that can be done to make camp busier.

C. Taylor advised that social media is important, there should always be advertising for the camp on social media. Another thought was to ask the Town to advertise it on the digital sign.

J. Zukowski suggested advertising it in the quarterly newsletter and trying to incorporate lunch/food for the camp.

G. Little stated that having knowledgeable and dedicated staff is important.

S. Graham asked why the camp doesn't incorporate excursions and suggested having flyers posted at the school and businesses.

J. Allen informed the Board he will start prep work for Summer Camp 2024 earlier in the year. J. Allen also requested instead of renting the school for the summer, we rent a porta potty instead, reduce the cost.

## 7.5 Thank you Card from the Porkers

No discussion

## 7.6 Dressing room in 2 years

Minor Hockey has been renting the Boardroom due to lack of space in the current changing rooms, J. Allen inquired if the room should be provided at no charge. The Board agreed that they will continue to pay for the Boardroom.

## 8. Correspondence

## 9. Financial Reports

### 9.1. Accounts Payable

#### **Resolution 2023-11-03**

Moved by P. Latam, Seconded by S. Graham

**BE IT RESOLVED THAT** the accounts payable for October 2023 in the amount of \$41, 628.62 be approved and paid from the Operating Account.

***CARRIED***

### 9.2. Accounts Receivables

The Board requested the secretary/treasurer to include the GIC balance on the A/R report.

For the past due accounts, the Board directed staff to contact the delinquent account holders for payment.

The secretary/treasurer informed the Board that the A/R Aging Report has several accounts that require clearing as previous entries were not done correctly. The Board directed staff to contact RLB as to how they want this done.

#### **Resolution 2023-11-04**

Moved by C. Taylor, Seconded by S. Graham

**BE IT RESOLVED THAT** the receipts for October 2023 in the amount of \$65, 222.87 have been deposited into the Community Centre bank account and are hereby approved.

***CARRIED***

### 9.3. Budget Variance

## 10. Unfinished Business

### 10.1 Renovation Project

### 10.2 Performance/hourly review for J. Allen

G. Little, J. Zukowski and M. Townsend will be scheduling a date and time to meet to discuss

## 11. New Business

### 11.1 2024 Draft Budget

The Board requested J. Allen to prepare a preliminary 2024 draft budget for next month's meeting.

G. Little requested that all staff have uniforms; t-shirts, or golf shirts, and must be worn while they are working, and that they wear jeans and not track pants. Staff should be presentable. J. Allen will coordinate on getting shirts for all staff members.

G. Little advised that there needs to be a dress code policy for all staff.

### 11.2 Policies

The secretary/treasurer informed that Board that the only policies that she has been able to locate are the Board policies.

C. Taylor inquired regarding the policy binder that has been referenced during earlier meetings, still no success.

The Board directed J. Allen to prepare a list of policies that require generating for next month's meeting.

### 11.3 Outdoor Rink

The Board discussed the potential to have an outdoor rink for this season. The discussion has been put on hold, further discussion at next month's meeting. J. Allen has been directed to get a quote for a refrigerated outdoor rink.

#### 11.4 2024 Meeting Schedule

The Board has agreed to have the 2024 Board meetings on the 2<sup>nd</sup> Monday of each month at 5:30pm.

### 12. Confirmation of Meeting

#### **Resolution 2023-11-05**

Moved by D. Halls, Seconded by S. Soloman

**BE IT RESOLVED THAT** leave be given to confirm the proceedings of the November 13, 2023, Grand Valley & District Community Centre Board Meeting.

***CARRIED***

### 13. Adjournment

#### **Resolution 2023-11-06**

Moved by D. Halls, Seconded by S. Graham

**BE IT RESOLVED THAT** we do now adjourn this meeting to meet again on Monday, December 11, 2023 at 5:30pm or at the call of the Chair.

***CARRIED***

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Gail Little, Chair

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Helena Snider, Secretary/Treasurer

# Grand Valley Arena Renovation & Addition

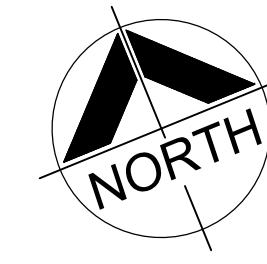
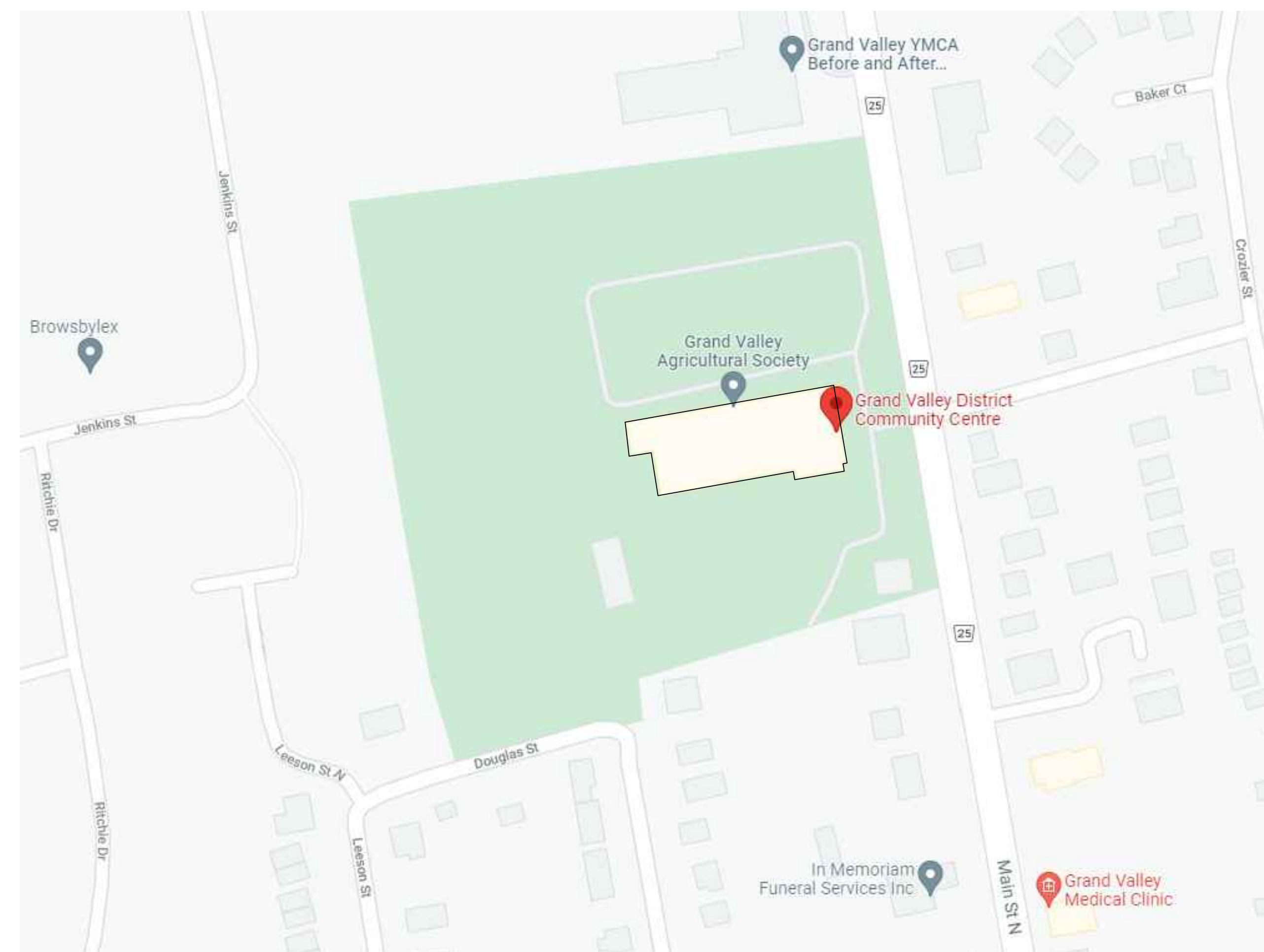
90 Main Street North  
Grand Valley, Ontario

NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA

## LIST OF DRAWINGS

### ARCHITECTURAL

- A000 LIST OF DRAWINGS AND OBC MATRIX
- A101 SITE PLAN
- A201 OVERALL FLOOR PLAN / LIFE SAFETY PLAN
- A202 ENLARGED FLOOR PLAN
- A203 ENLARGED REFLECTED CEILING PLAN AND FLOOR FINISH
- A204
- A205 OVERALL ROOF PLAN
- A301
- A302 ENLARGED PART ELEVATIONS
- A401
- A601 PLAN DETAILS
- A602 SECTION DETAILS
- A701 INTERIOR ELEVATIONS
- A702 CHANGE ROOM DETAILS AND W/R ACCESSORIES
- A901 ROOM AND DOOR SCHEDULES



CERTIFICATE OF PRACTICE NUMBER : 6192  
200 WATER STREET, SUITE 201  
WHITBY, ONTARIO, CANADA, L1N 0G5  
TEL: (905) 666-5252  
(Toronto) (905) 427-4495  
FAX: (905) 666-5256

NAME OF PROJECT :  
Grand Valley Arena Renovation & Addition

LOCATION OF PROJECT :  
90 Main Street North,  
Grand Valley, Ontario

DATE :  
December 2021

TO BE UPDATED  
OBC Reference

Ontario Building Code Data Matrix Part 11 - Renovation of Existing Building		OBC Reference
11.00 Building Code Version:	O_Reg_332/12 Last Amendment: O_Reg_19/1/14	
11.01 Project Type:	<input type="checkbox"/> Addition <input type="checkbox"/> Renovation <input checked="" type="checkbox"/> Addition and Renovation	[A] 1.1.2
11.02 Major Occupancy Classification:	Description: Grand Valley Arena Renovation and Addition Occupancy: Use A-3 Arena	3.1.2.1(1)
11.03 Superimposed Major Occupancies:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Description: Existing with Second Level A2 Hall	3.2.2.7
11.04 Building Area (m <sup>2</sup> ):	Description Existing New Total Total:	[A] 1.4.1.2
11.05 Building Height:	Storeys above grade (m) Above grade Storeys below grade	[A] 1.4.1.2 & 3.2.1.1
11.06 Number of streets/ fire fighter access:	street(s)	3.2.2.10 & 3.2.5
11.07 Building Size:	<input type="checkbox"/> Small <input type="checkbox"/> Medium <input checked="" type="checkbox"/> Large <input type="checkbox"/> > Large	T.11.2.1.1.B-N
11.08 Existing Building Classification:	Change in Major Occupancy: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> Not Applicable (no change of major occupancy) Construction Index: T11.2.1.1A T11.2.1.1B to N.4.2.1(3) & 6.2.2.1(2) Hazard Index: Importance Category: <input type="checkbox"/> Low <input checked="" type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Post-disaster	
11.09 Renovation Type:	<input type="checkbox"/> Basic Renovation <input checked="" type="checkbox"/> Extensive Renovation	11.3.3.1 & 11.3.3.2
11.10 Occupant Load:	Floor Level/Area Occupancy Type Based On Occup. Load	3.1.17
11.11 Plumbing Fixture Requirements:	Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/ Area Occupant Load OBC Reference Fixtures Provided	3.7.4
11.12 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation	11.3.3.2(2)
11.13 Reduction in Performance Level:	Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Seepage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Staircase - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.14 Compensating Construction:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Structural: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By increase in occupant load: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes By change of major occupancy: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Plumbing: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Seepage - system: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes Extension of Combustible Construction: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.4.2.1 11.4.2.2 11.4.2.3 11.4.2.4 11.4.2.5 11.4.2.6
11.15 Compliance Alternatives Proposed:	<input checked="" type="checkbox"/> No <input type="checkbox"/> Yes	11.5.1
11.16 Notes:		11.5.1

NAME OF CONSULTANT: BARRY BRYAN ASSOCIATES  
CERTIFICATE OF PRACTICE NUMBER : 6192  
200 WATER STREET, SUITE 201  
WHITBY, ONTARIO, CANADA, L1N 0G5  
TEL: (905) 666-5252  
(Toronto) (905) 427-4495  
FAX: (905) 666-5256

NAME OF PROJECT :  
Grand Valley Arena Renovation & Addition

LOCATION OF PROJECT :  
90 Main Street North,  
Grand Valley, Ontario

DATE :  
December 2021

TO BE UPDATED  
OBC Reference

Ontario Building Code Data Matrix Part 3		OBC Reference
3.00 Building Code Version:	O_Reg_332/12 Last Amendment: O_Reg_19/1/14	
3.01 Project Type:	<input type="checkbox"/> New <input type="checkbox"/> Addition <input checked="" type="checkbox"/> Renovation <input type="checkbox"/> Addition and Renovation	[A] 1.1.2
3.02 Major Occupancy Classification:	Description: Grand Valley Arena Renovation and Addition Occupancy: Use A-3 Arena	3.1.2.1(1)
3.03 Superimposed Major Occupancies:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Description	3.2.2.7
3.04 Building Area (m <sup>2</sup> ):	Description Existing New Total Total:	[A] 1.4.1.2
3.05 Gross Area (m <sup>2</sup> ):	Description Existing New Total Total:	[A] 1.4.1.2
3.06 Mezzanine Area (m <sup>2</sup> ):	Description Existing New Total Mezzanine Room Total:	3.2.1.1
3.07 Building Height:	Storeys above grade (m) Above grade Storeys below grade	[A] 1.4.1.2 & 3.2.1.1
3.08 High Building:	<input type="checkbox"/> Yes <input type="checkbox"/> No	
3.09 Number of streets/ fire fighter access:	street(s)	3.2.2.10 & 3.2.5
3.10 Building Classification:	Group/ Div.	3.2.2.20 - 63
3.11 Sprinkler System:	<input type="checkbox"/> Required <input type="checkbox"/> Not Required Proposed: <input type="checkbox"/> entire building <input type="checkbox"/> selected compartments <input type="checkbox"/> selected floor areas <input type="checkbox"/> assessment <input type="checkbox"/> in lieu of roof rating <input type="checkbox"/> none	3.2.1.5 & 3.2.1.7
3.12 Standpipe System:	<input type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.8
3.13 Fire Alarm System:	<input type="checkbox"/> Required <input type="checkbox"/> Not Required	3.2.4
3.14 Water Service/ Supply is Adequate:	<input type="checkbox"/> Yes <input type="checkbox"/> No	
3.15 Construction Type:	Restriction: <input type="checkbox"/> Combustible Permitted <input type="checkbox"/> Non-combustible Required Actual construction: <input type="checkbox"/> Combustible <input type="checkbox"/> Non-combustible <input type="checkbox"/> Combination Heavy Timber Construction: <input type="checkbox"/> No <input type="checkbox"/> Yes	3.2.2.20 - 63 & 3.2.1.4
3.16 Importance Category:	<input type="checkbox"/> Low <input type="checkbox"/> Low human occupancy <input type="checkbox"/> Post-disaster shelter <input type="checkbox"/> Normal <input type="checkbox"/> High <input type="checkbox"/> Minor storage building <input type="checkbox"/> Explosives or hazardous substances <input type="checkbox"/> Post-disaster	4.1.2.1 (3) & T4.1.2.1.B
3.17 Seismic Hazard Index:	(I, Fa Sa (0.2))= Seismic design required by Table 4.1.1.18, Items 6 to 21: (I, Fa Sa (0.2)) or = 0.25 or Post-disaster <input type="checkbox"/> No <input type="checkbox"/> Yes	4.1.2.1 (3) 4.1.8.18 (2)
3.18 Occupant Load:	Floor Level/Area Occupancy Type Based On Occup. Load	3.1.17
3.19 Barrier-free Design:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Explanation	3.6
3.20 Hazardous Substances:	<input type="checkbox"/> Yes <input type="checkbox"/> No Explanation	3.3.1.2 & 3.3.1.19
3.21 Required Fire Resistance Ratings:	Horizontal Assembly Rating Supporting Assembly (h) Non-combustible in lieu of open? Combustible construction w/ noncombustible cladding Floors over basement: <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Floors: <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Mezzanine: <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A Roof: <input type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> N/A	3.2.2.20 - 63 & 3.2.1.4
3.22 Spatial Separation:	Wall Area of EBF (m <sup>2</sup> ) L/D (m) L/H or V/L Permitted Max % of Openings Proposed % of Openings FRR (hours) Noncombustible construction Combustible construction w/ noncombustible cladding	3.2.3
3.23 Plumbing Fixture Requirements:	Ratio: Male/Female = 50:50 Except as noted otherwise Floor level/Area Occupant Load OBC Reference Fixtures Required Fixtures Provided	3.7.4
3.24 Energy Efficiency:	Compliance Path: Climatic Zone: OBC Table:	
3.25 Notes:		

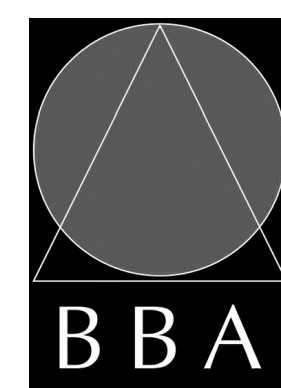
ARCHITECTURAL, STRUCTURAL:

MECHANICAL:

ELECTRICAL:

REFRIGERATION:

CIVIL:



**BARRY BRYAN ASSOCIATES**  
Architects, Engineers, Project Managers  
201-250 Water Street  
Whitby, Ontario L1N 0G5  
Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com



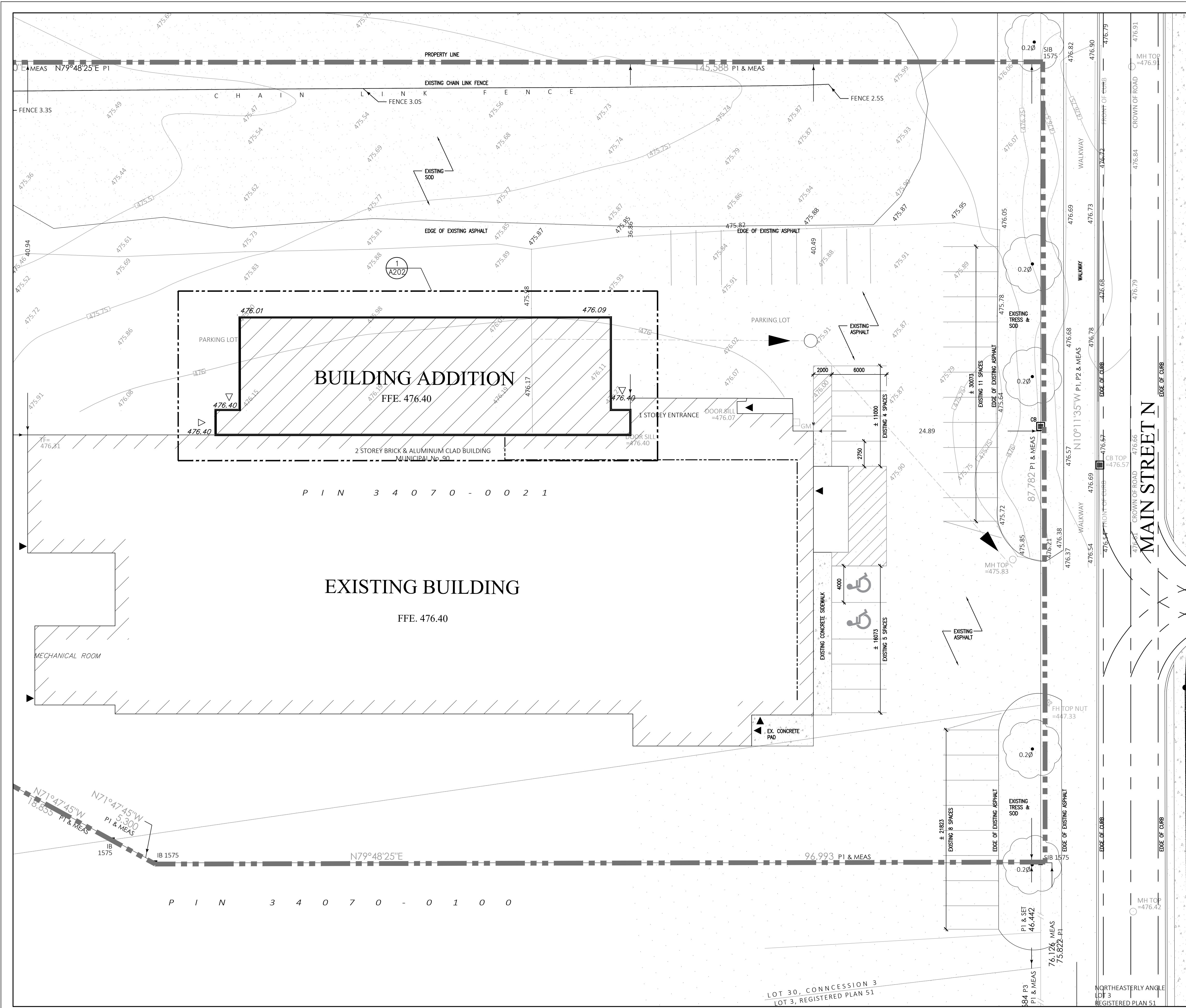
PROJECT NO. 21171

A000

Grand Valley Arena Renovation & Addition

90 Main Street North  
Grand Valley, Ontario





**PART OF LOT 30  
CONCESSION 3  
REGISTERED PLAN 51  
GEOGRAPHIC TOWNSHIP OF EAST LUTHER  
TOWN OF GRAND VALLEY  
COUNTY OF DUFFERIN**

**BENCHMARK**  
ELEVATIONS ARE BASED ON GPS OBSERVATIONS FROM PERMANENT REFERENCE STATIONS IN THE NAD83 (CGRS-2010) COORDINATE SYSTEM, WITH HEIGHTS CONVERTED TO ORTHOMETRIC ELEVATIONS ON THE CGVD28 DATUM (1978 ADJUSTMENT) WITH GEOID MODEL HTV2.0 AS SUPPLIED BY NATURAL RESOURCES CANADA.

SITE BENCH MARK 1:  
NAIL IN HYDRO POLE, 475.86

SITE BENCH MARK 2:  
NAIL IN TREE, 476.86

SITE BENCH MARK 3:  
NAIL IN TREE, 478.11

**SITE ABBREVIATIONS**

AD	AREA DRAIN
ANC	ANCHOR
BF	BARRIER FREE PARKING SIGN (AS PER ONTARIO TRAFFIC MANUAL)
BL	BOLLARD LIGHT (REFER TO ELECTRICAL DWGS)
BOL	BOLLARD BP (BELL POLE)
CB	CATCH BASIN
FH	FIRE HYDRANT
FRTS	FIRE ROUTE SIGN
GM	GAS METER
HP	HYDRO POLE
MH	MAN HOLE
WV	WATER VALVE

**SITE STATISTICS**

ZONING BY-LAW	OS-OPEN SPACE 2009-10
GROSS SITE AREA	1.214 Ha
BUILDING AREA :	
EXISTING BUILDING AREA:	2630.00m <sup>2</sup>
PROPOSED ADDITION:	539.44m <sup>2</sup>
BUILDING AREA TOTAL :	3169.44m <sup>2</sup>
EXISTING PAVED AREA:	3144.00m <sup>2</sup>
PAVED AREA:	842.40m <sup>2</sup>
TOTAL PAVED AREA :	3986.40m <sup>2</sup>
EXISTING LANDSCAPED AREA :	513.80m <sup>2</sup>

PARKING SPACES REQUIRED:  
EXISTING PARKING SPACES PROVIDED 36 SPACES  
EXISTING ACCESSIBLE SPACES REQ'D 2 SPACES  
PARKING SPACES PROVIDED \*\*\* SPACES (FUTURE)

**SURVEY INFO. PROVIDED BY CLIENT**

**2  
A101** LOCATION MAP N.T.S.

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NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA

NO.	REVISIONS	DATE	BY
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PROJECT:  
**GRAND VALLEY ARENA  
RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE

90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**SITE PLAN**

**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers

250 Water Street  
Suite 201  
Whitby, Ontario  
L1N 9G5

Tel: (905) 666-5252  
Fax: (905) 666-5256  
e-mail: bba@bba-arch.com

DESIGN BY: BBA	DOC. CONTROL: DATE:
DRAWN BY: KW/LJA	% COMPLETE:
CHECKED BY: ---	INITIAL:
DATE: NOV. 28, 2023	
SCALE: AS NOTED	
FILE: 21171 A101	

PROJECT NO:  
**21171**

DRAWING NO:  
**A101**

**1  
A101** PART SITE PLAN  
1:200



NOTES	LIFE SAFETY LEGEND	FLOOR PLAN NOTATION LEGEND
1. ALL EXISTING FLOOR ASSEMBLIES SHALL BE FIRE SEPARATIONS WITH MINIMUM 1 HR. F.R.R. 2. REFER TO WALL TYPE SCHEDULE AND PLANS FOR DESCRIPTION OF WALL ASSEMBLIES TO BE USED. 3. ALL FLOOR SEPARATIONS SHALL BE 1HR. MINIMUM (EXISTING)	PUBLIC ENTRANCE EXIT DOOR(S) EXIT PATHS/TRAVEL DISTANCE 1 HOUR FIRE SEPARATION OR FIRE PROTECTION <b>TRAVEL DISTANCE COMPLIANCE</b> OBC 3.3.1.6. TRAVEL DISTANCE (1) THE TRAVEL DISTANCE WITHIN THE ROOM OR SUITE TO THE NEAREST EGRESS DOORWAY SHALL NOT EXCEED THE MAXIMUM TRAVEL DISTANCE OF 45M. SPECIFIED IN CLAUSES 3.4.2.5.(1), (c) FOR EXITS. OBC 3.4.2.5. LOCATION OF EXITS (1) EXCEPT AS PERMITTED BY SENTENCES (2), 3.2.8.4.(4) AND 3.3.2.4.(13) TO (16), IF MORE THAN ONE EXIT IS REQUIRED FROM A FLOOR AREA, THE EXITS SHALL BE LOCATED SO THAT THE TRAVEL DISTANCE TO AT LEAST ONE EXIT SHALL BE NOT MORE THAN: (a) 45m IN A FLOOR AREA THAT CONTAINS AN OCCUPANCY OTHER THAN A HIGH HAZARD INDUSTRIAL OCCUPANCY, PROVIDED IT IS SPRINKLERED,	<b>CORRIDOR</b> CA CORRIDOR WXX WALL / PARTITION TYPE G01 EXTERIOR GLAZING NUMBER SC01 INTERIOR GLAZED SCREEN NUMBER 101 DOOR NUMBER FF2, FF1 FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE) WALL SECTION REFERENCE BUILDING SECTION/ EXTERIOR ELEVATION REFERENCE INTERIOR ELEVATION REFERENCE NUMBER

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NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA

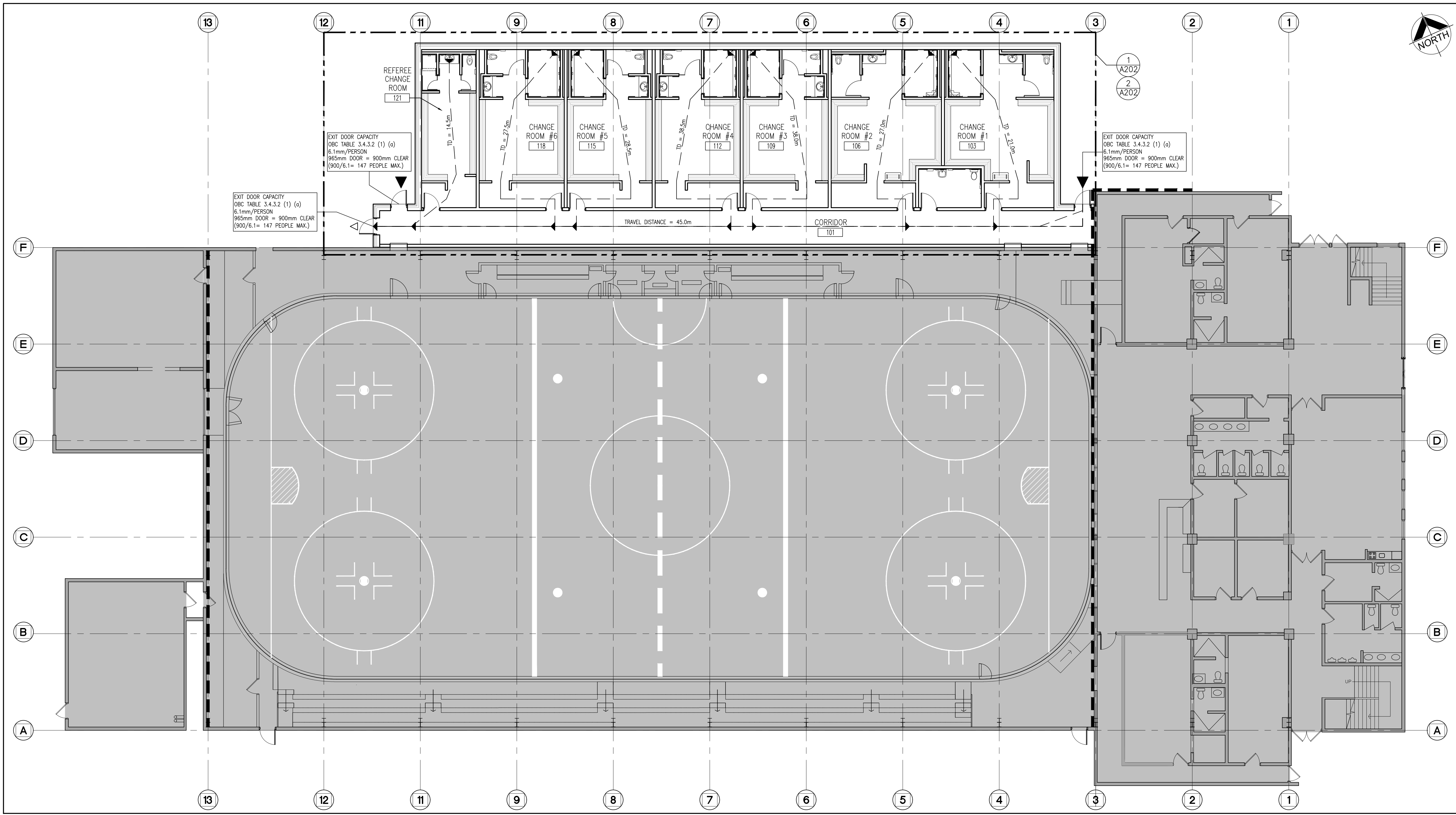
NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
 DISTRICT COMMUNITY CENTRE  
 90 MAIN ST. N  
 GRAND VALLEY, ONTARIO, L0N 1G0  
 TOWN OF GRAND VALLEY

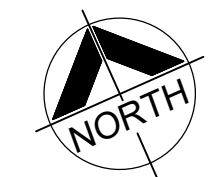
DRAWING:  
**OVERALL FLOOR PLAN LIFE SAFETY PLAN**

 <b>BARRY BRYAN ASSOCIATES</b> Architects Engineers Project Managers 250 Water Street Suite 201 Whitby, Ontario L1N 0G5 Tel: (905) 666-5252 Fax: (905) 666-5256 e-mail: bba@bba-archeng.com	DESIGN BY: BBA	DOC. CONTROL: DATE:
	DRAWN BY: KW/LJA	% COMPLETE:
	CHECKED BY:	INITIAL:
	DATE: NOV. 28, 2023	SCALE: AS NOTED
	FILE: 21171 A201	

PROJECT NO:  
**21171**  
 DRAWING NO:  
**A201**



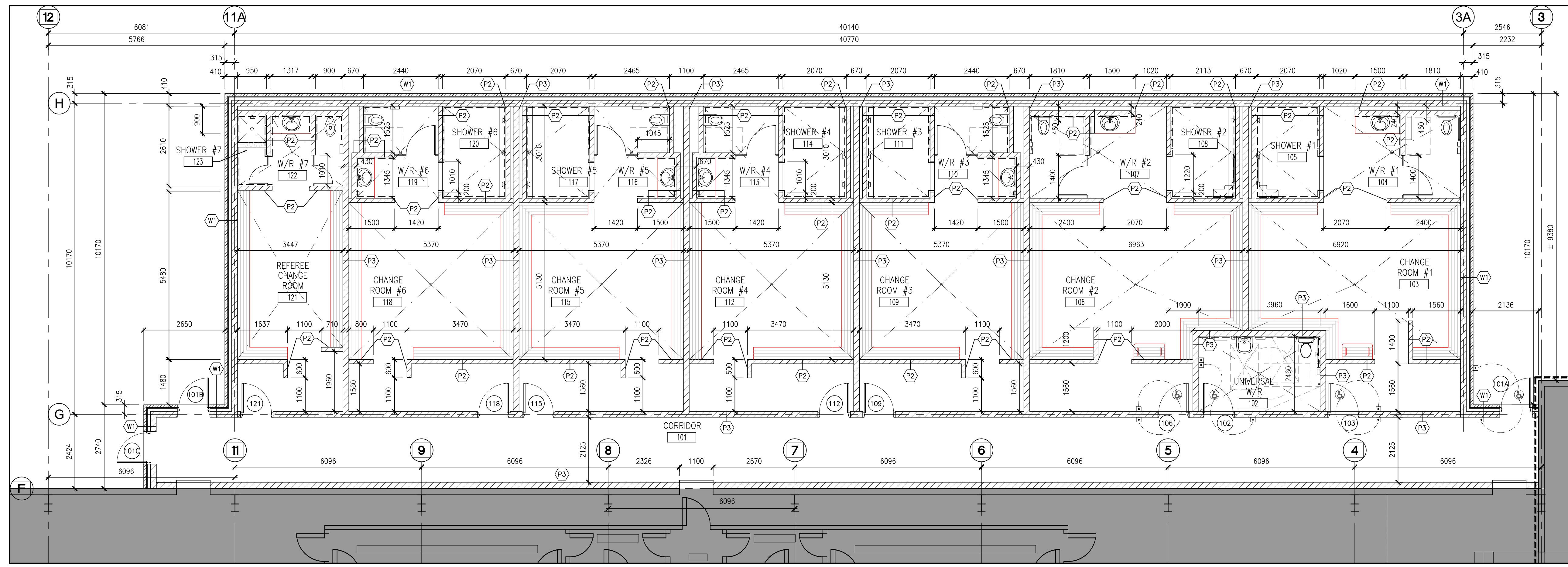
**1**  
**A201** OVERALL GROUND FLOOR PLAN  
 1:125



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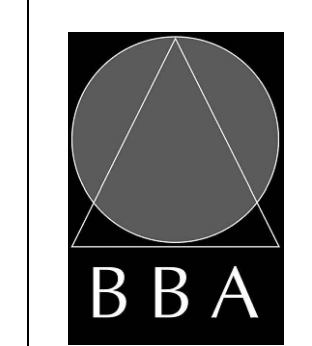


**1**  
**A202**  
ENLARGED FLOOR PLAN  
1:75

LEGEND	FLOOR PLAN NOTATION LEGEND
<p>EXISTING N.I.C. (UNLESS OTHERWISE NOTED)</p> <p>EXISTING WALL, PARTITION OR COLUMN</p> <p>EXISTING DOOR, FRAME AND TRIM TO REMAIN</p>	<p><b>CORRIDOR</b></p> <p>CA ROOM NAME &amp; NUMBER</p> <p>EXX EXTERIOR WALL TYPE</p> <p>FXX INTERIOR PARTITION OR FURRING TYPE</p> <p>G01 EXTERIOR GLAZING NUMBER</p> <p>SC01 INTERIOR GLAZED SCREEN NUMBER</p> <p>D01 DOOR NUMBER</p> <p>MW-1 MILLWORK NUMBER</p> <p>PB BARRIER FREE DOOR OPERATOR PUSH BUTTON</p> <p>PL PUSH TO LOCK PUSH BUTTON</p> <p>EM EMERGENCY ASSISTANCE CALL BUTTON</p> <p>DOOR WITH DOOR OPERATOR</p> <p>1 A200 WALL SECTION REFERENCE</p> <p>1 A200 BUILDING SECTION / EXTERIOR ELEVATION REFERENCE</p> <p>1 A901 INTERIOR ELEVATION REFERENCE NUMBER</p> <p>FIN 2 FIN 1 FLOOR FINISH TYPE (SEE ALSO ROOM FINISH SCHEDULE)</p> <p>CERAMIC WALL TILE (REFER TO INTERIOR ELEVATIONS FOR LOCATION HEIGHT / LENGTH)</p> <p>1 HOUR FIRE SEPARATION OR FIRE PROTECTION</p>
<p><b>PARTITION / WALL TYPES SCHEDULE</b></p> <p>P1 90mm CONCRETE BLOCK (NOT USED)</p> <p>P2 140mm CONCRETE BLOCK</p> <p>P3 190mm CONCRETE BLOCK</p> <p>W1 MASONRY CAVITY WALL 90mm MASONRY VENEER 30mm AIR SPACE 100mm RIGID INSULATION (R20) CONTINUOUS SELF ADHERED AIR / VAPOUR BARRIER 190mm CONCRETE BLOCK (REFER TO EXTERIOR ELEVATIONS FOR FINISH)</p>	
<p><b>PARTITION &amp; FURRING NOTES</b></p> <ol style="list-style-type: none"> <li>A "T" DESIGNATION (ie. "P6T") INDICATES LOW PARTITION (+2440mm HIGH)</li> <li>ALL RAIN WATER LEADERS (RWL) AND PLUMBING RISERS SHALL BE FURRED IN WITH "F1" FURRING TYPE TO 200mm ABOVE THE FINISHED CEILING UNLESS OTHERWISE INDICATED.</li> <li>UNLESS OTHERWISE NOTED, ALL PARTITIONS TERMINATE AT UNDERSIDE OF METAL ROOF DECK ABOVE.</li> <li>PROVIDE MOISTURE RESISTANT GYPSUM BOARD IN ALL WET AREAS. WET AREAS ARE DEFINED AS ABLUTION ROOM.</li> <li>ALL GYPSUM BOARD BULKHEADS / PARTITIONS ABOVE WALL OPENINGS OR SCREENS TO BE BRACED AS REQUIRED.</li> <li>ALL OUTSIDE CORNER BLOCK WALLS TO BE BULLNOSED.</li> <li>ALL OUTSIDE CORNERS ON CONCRETE TILT-UP PANELS TO BE CHAMFERED.</li> <li>PROVIDE FIRE STOPPING / SMOKE SEAL AT TOPS OF ALL RATED PARTITIONS / FURRING TYPES AT UNDERSIDE OF ROOF DECK c/w INFILL OF FLUTES.</li> </ol>	

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**ENLARGED FLOOR PLAN**



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DESIGN BY: BBA	DOC. CONTROL DATE:
DRAWN BY: JJA/KW	% COMPLETE:
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FILE: 21171 A202	

PROJECT NO:  
**21171**  
DRAWING NO:  
**A202**





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**CEILING NOTATION LEGEND**

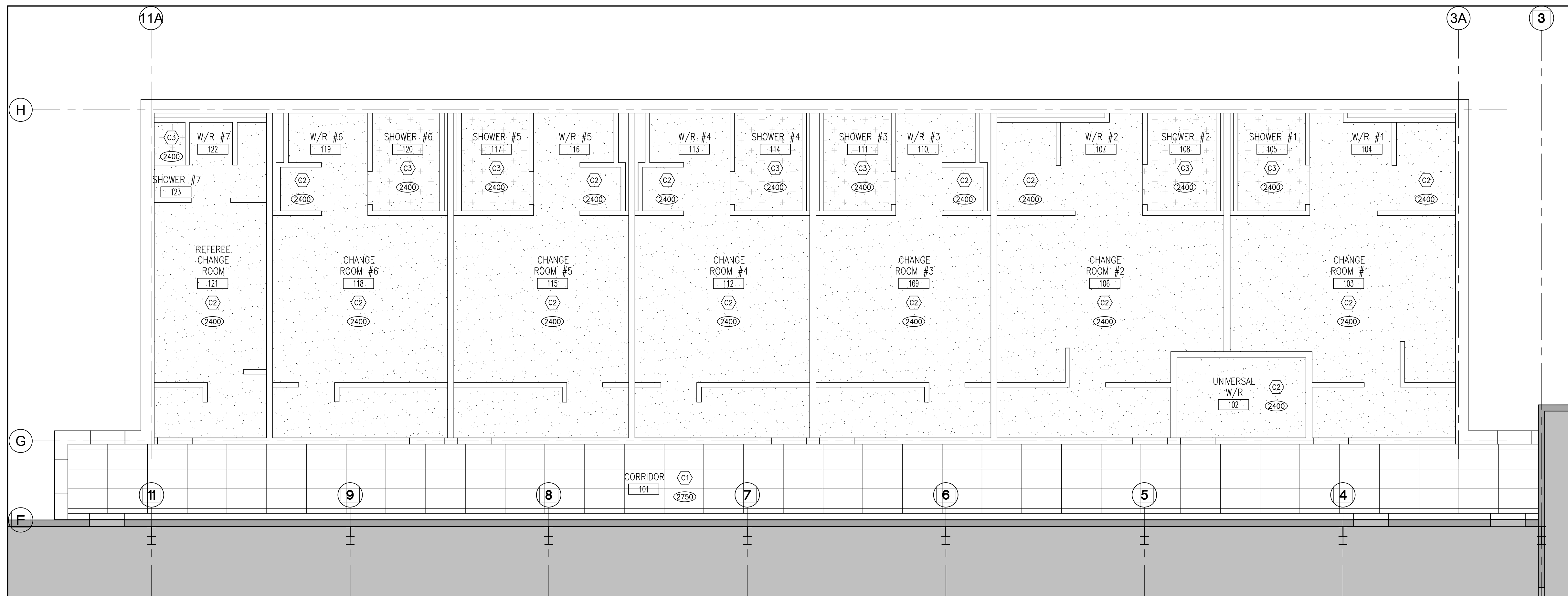
- C#** CEILING TYPE (REFER TO CEILING TYPE SCHEDULE AND ROOM FINISH SCHEDULE)
- 2750** CEILING LEVEL ABOVE FINISHED FLOOR (SEE ALSO ROOM FINISH SCHEDULE)
- EXP** EXPOSED STRUCTURE
- XG** EXISTING GYPSUM BOARD CEILING
- X** SUPPLY AIR DIFFUSER (REFER TO MECHANICAL DRAWINGS)
- RS** RETURN AIR GRILLE (REFER TO MECHANICAL DRAWINGS)
- \*** SPRINKLER (REFER TO MECHANICAL DRAWINGS)

**CEILING TYPE SCHEDULE**

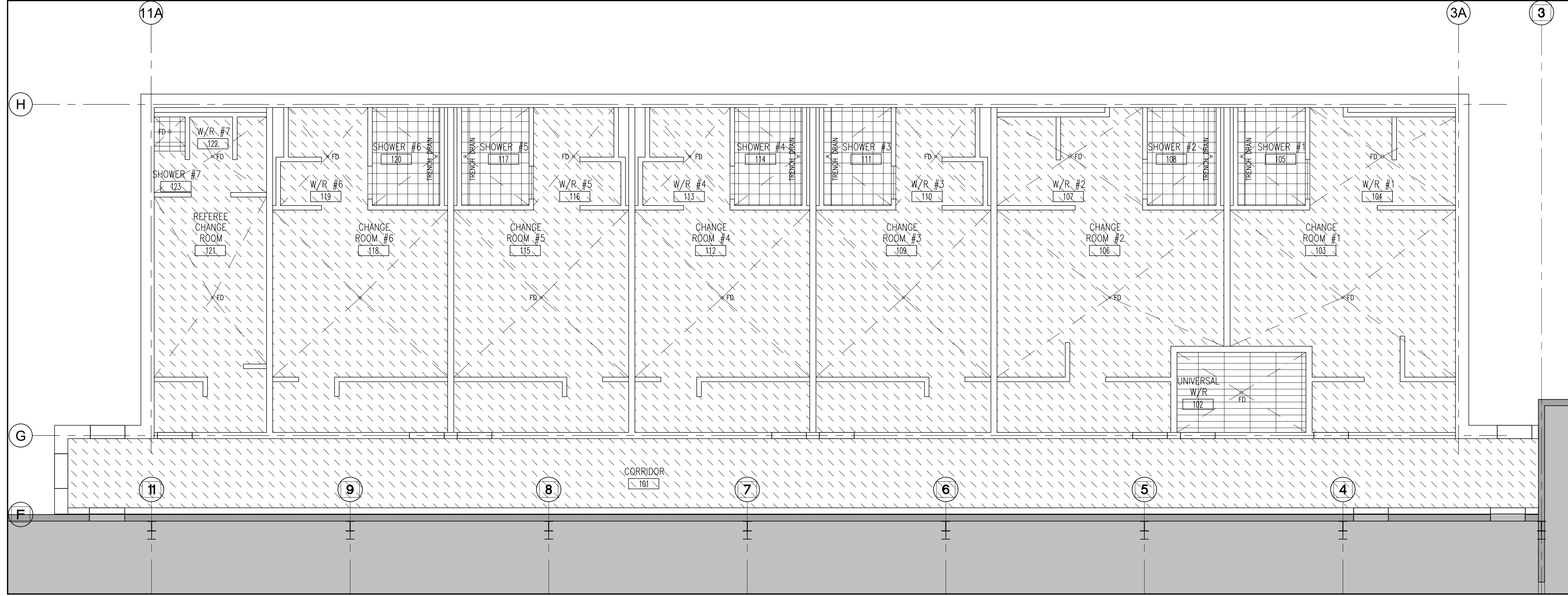
- C1** 610mmx1220mm ACOUSTIC LAY-IN CEILING PANELS IN SUSPENDED T-BAR GRID (TYPE 1)
- C2** GYPSUM BOARD CEILING (PAINTED) ON METAL STUD FRAMING
- C3** GYPSUM BOARD PLUS 12mm MOLD RESISTANT GYPSUM BOARD ON METAL STUD FRAMING

**CEILING LIGHTS LEGEND**

- 610mmx1220mm RECESSED LIGHT FIXTURE
- 305mmx1220mm RECESSED LIGHT FIXTURE



**2 ENLARGED REFLECTED CEILING PLAN**  
A203 1:75



**1 ENLARGED FLOOR FINISH PLAN**  
A203 1:75

**FLOOR FINISH LEGEND**

- NEW RUBBER SKATE TILE. PROVIDE TRANSITION STRIPS AT ALL DOORS AND TERMINATION POINT FOR FLOORING.
- TILE FLOORING TYPE 1: LIGHT GREY BONE. 12" x 24" MATTE (ROOM #107, #108, #111)
- TILE FLOORING TYPE 2: 2" x 2" MOSAIC DARK GREY

PROJECT:  
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DRAWING:  
**ENLARGED REFLECTED CEILING PLAN AND FLOOR FINISH**

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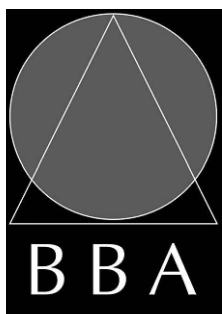


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DRAWING:  
**OVERALL ROOF PLAN**

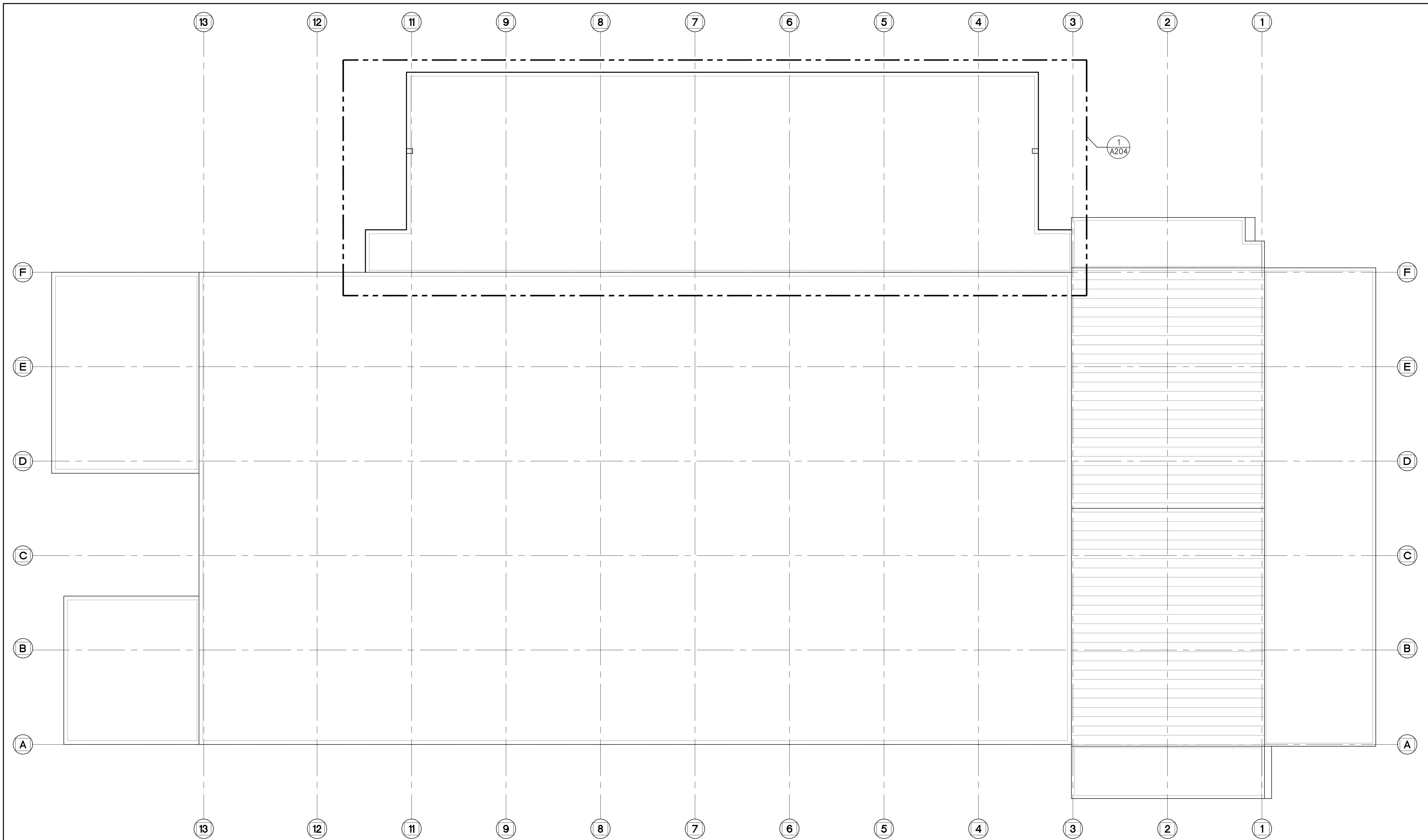


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PROJECT NO:  
**21171**  
 DRAWING NO:  
**A205**

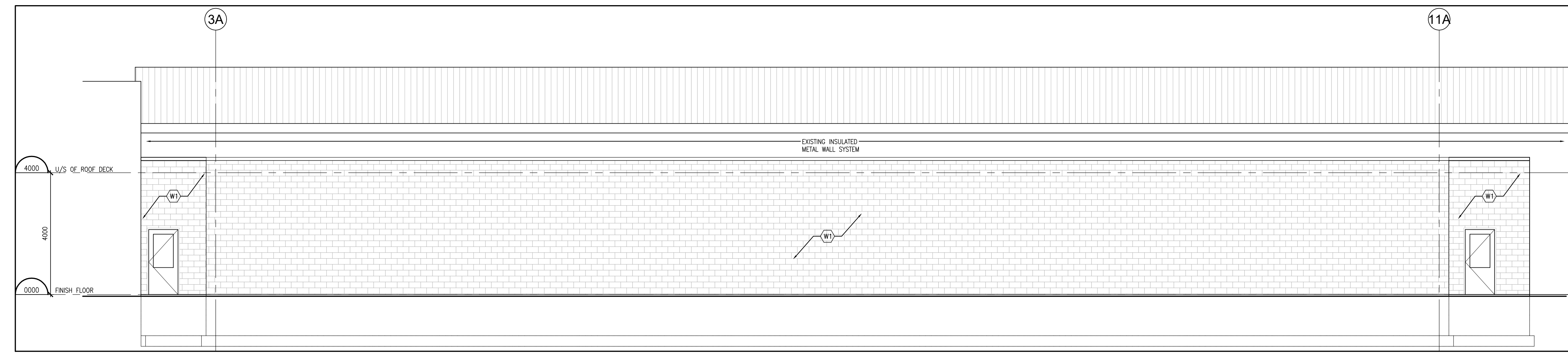


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**A205** OVERALL ROOF PLAN  
 1:125

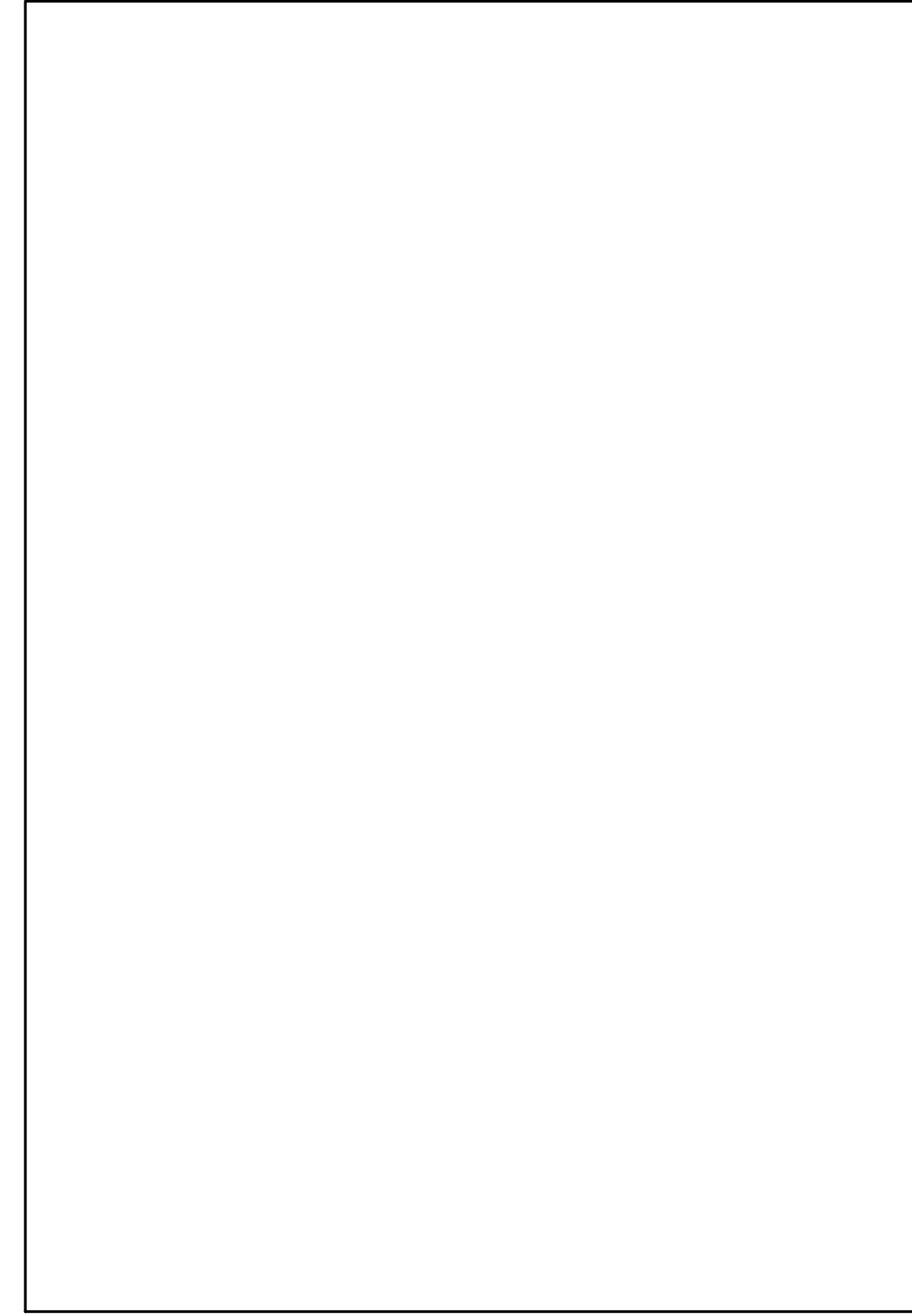
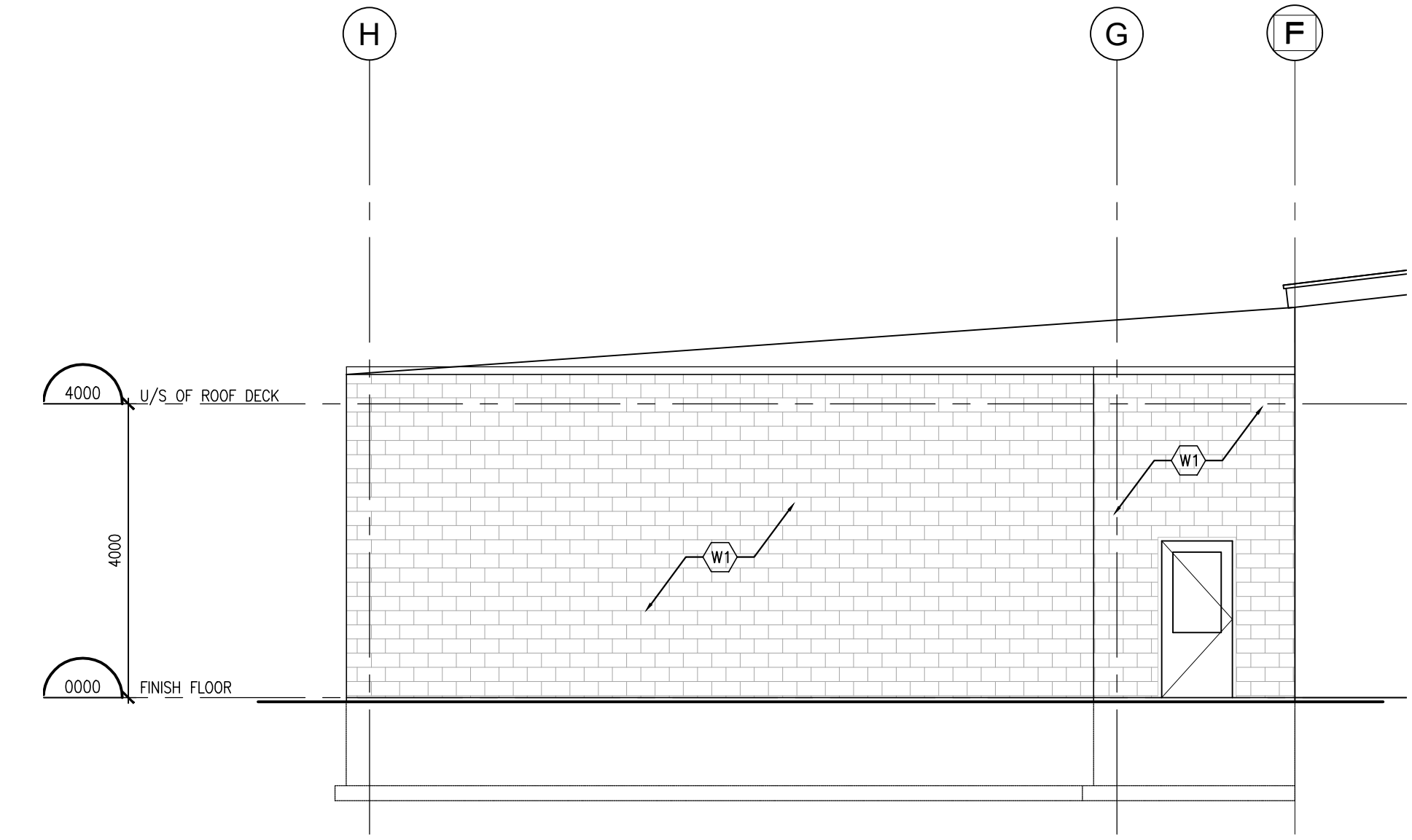
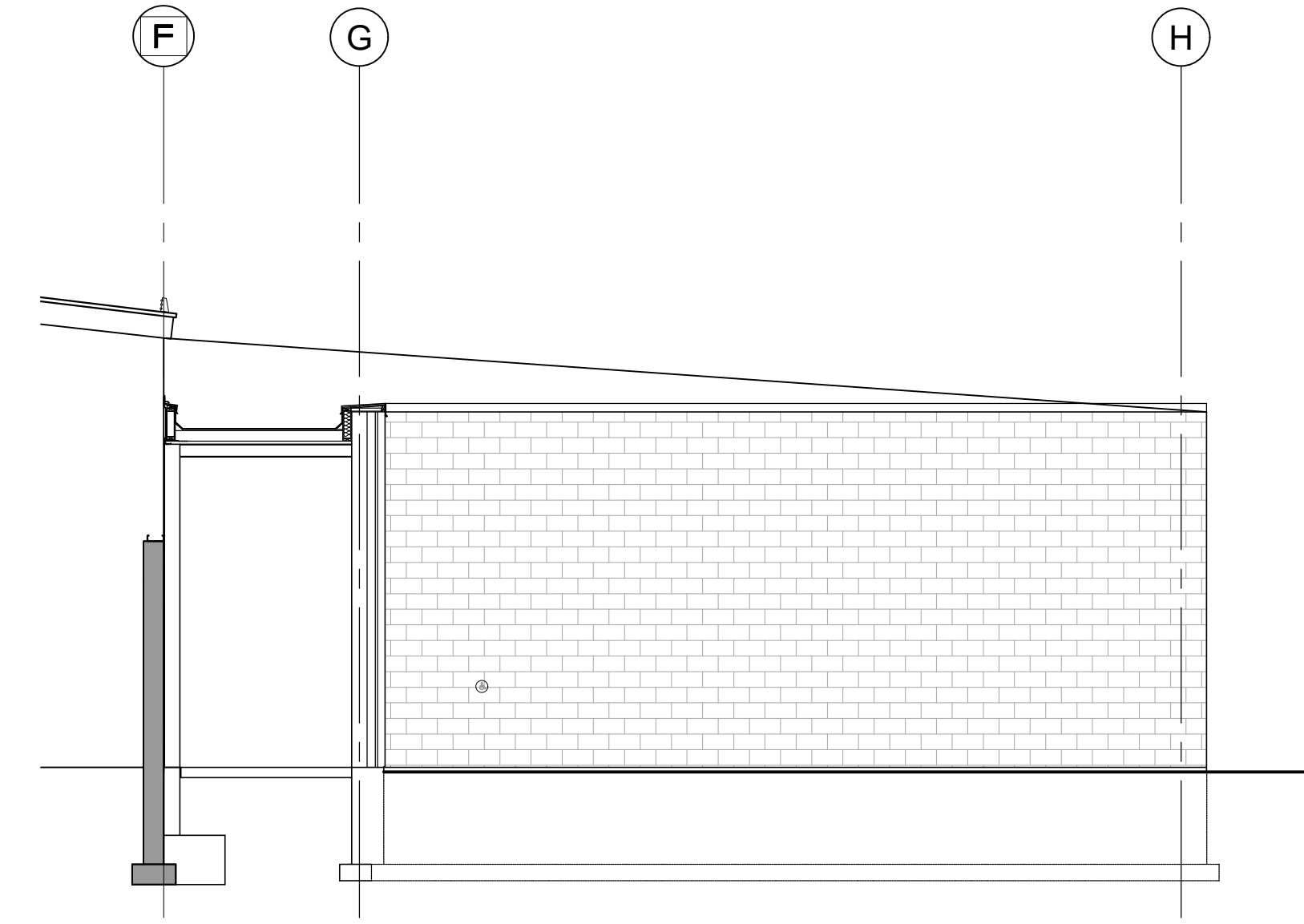
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**1**  
**A202**  
 1:75  
**NEW ADDITION : NORTH ELEVATION**



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DRAWING:  
**ENLARGED PART ELEVATIONS**

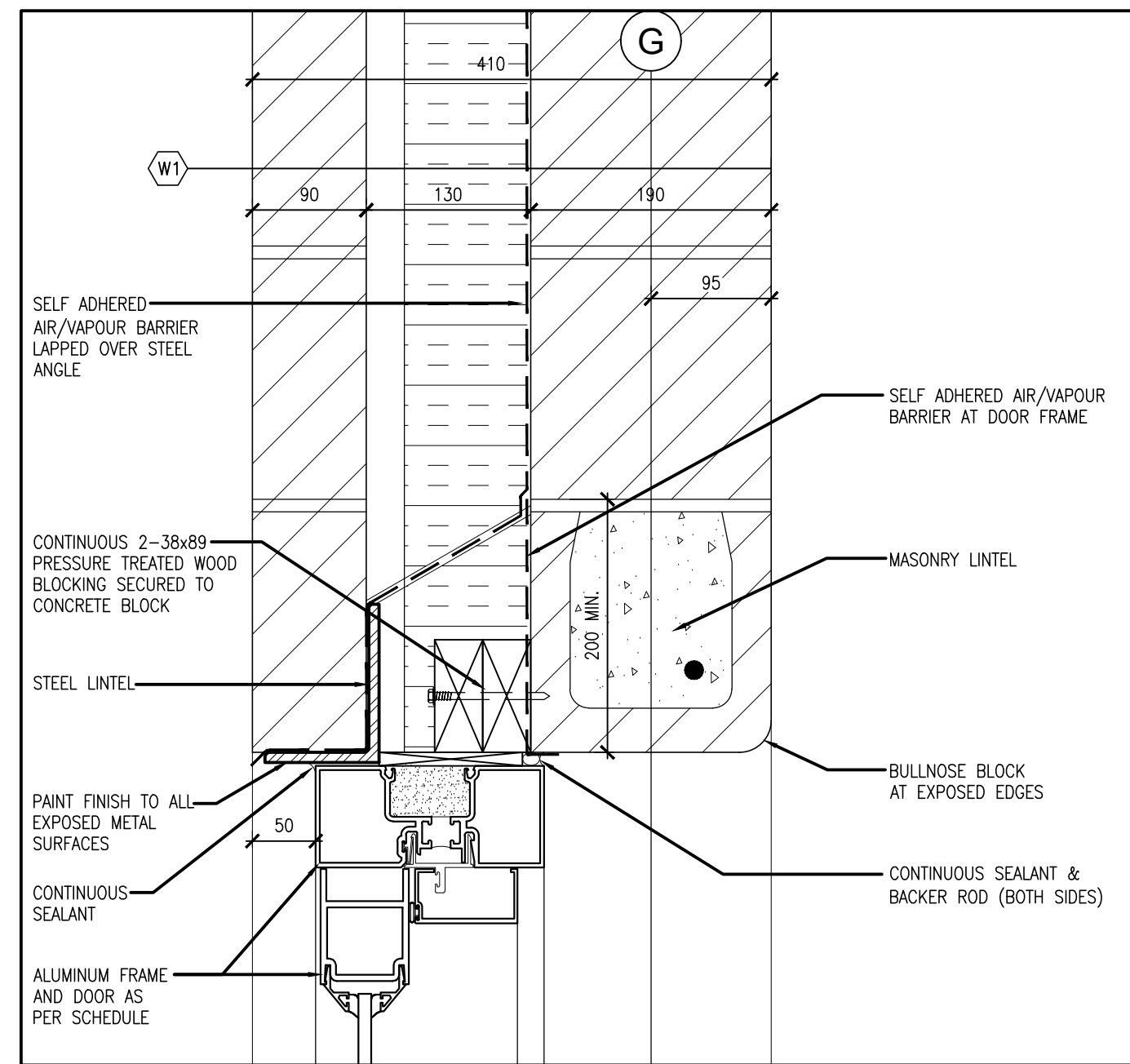


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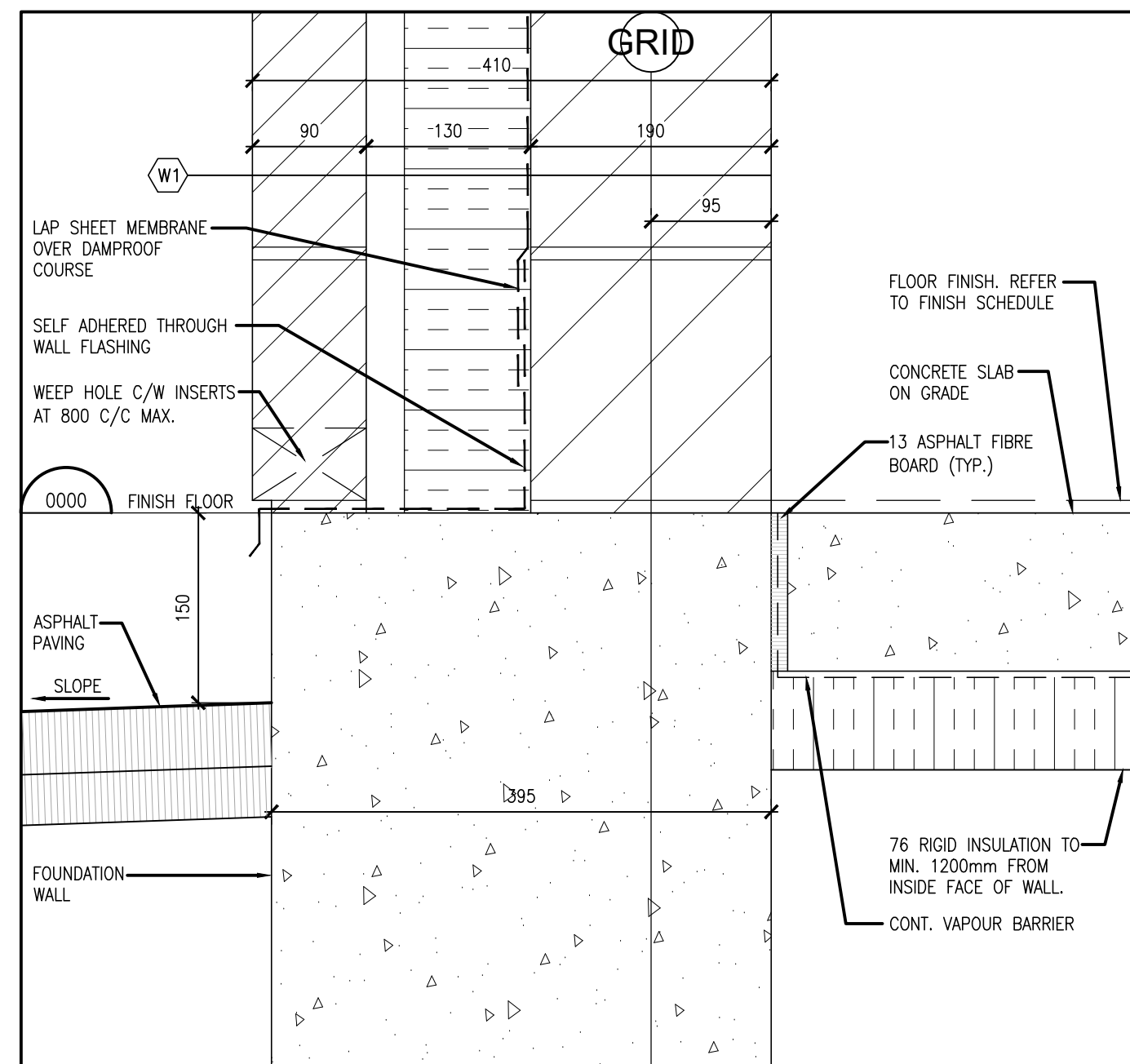
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**21171**  
 DRAWING NO:  
**A302**

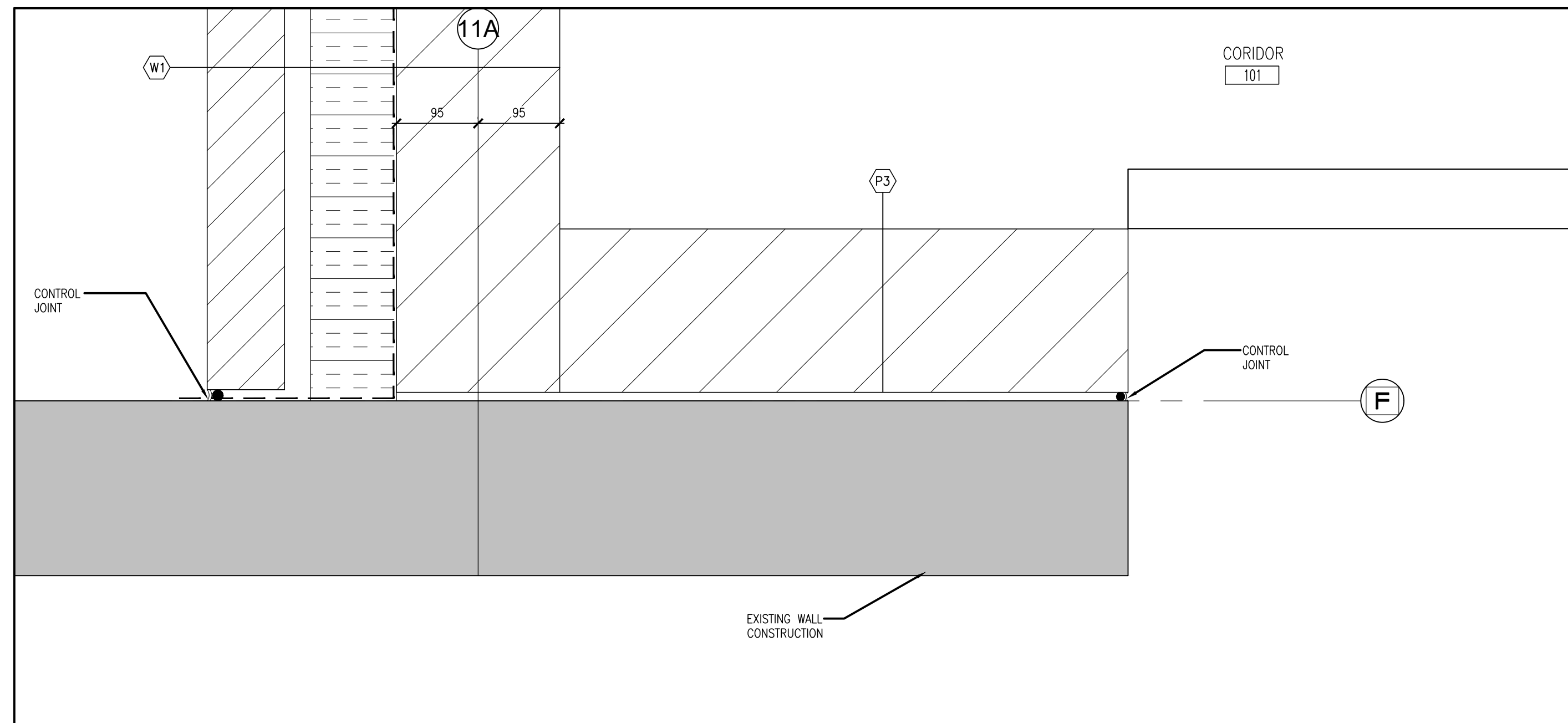




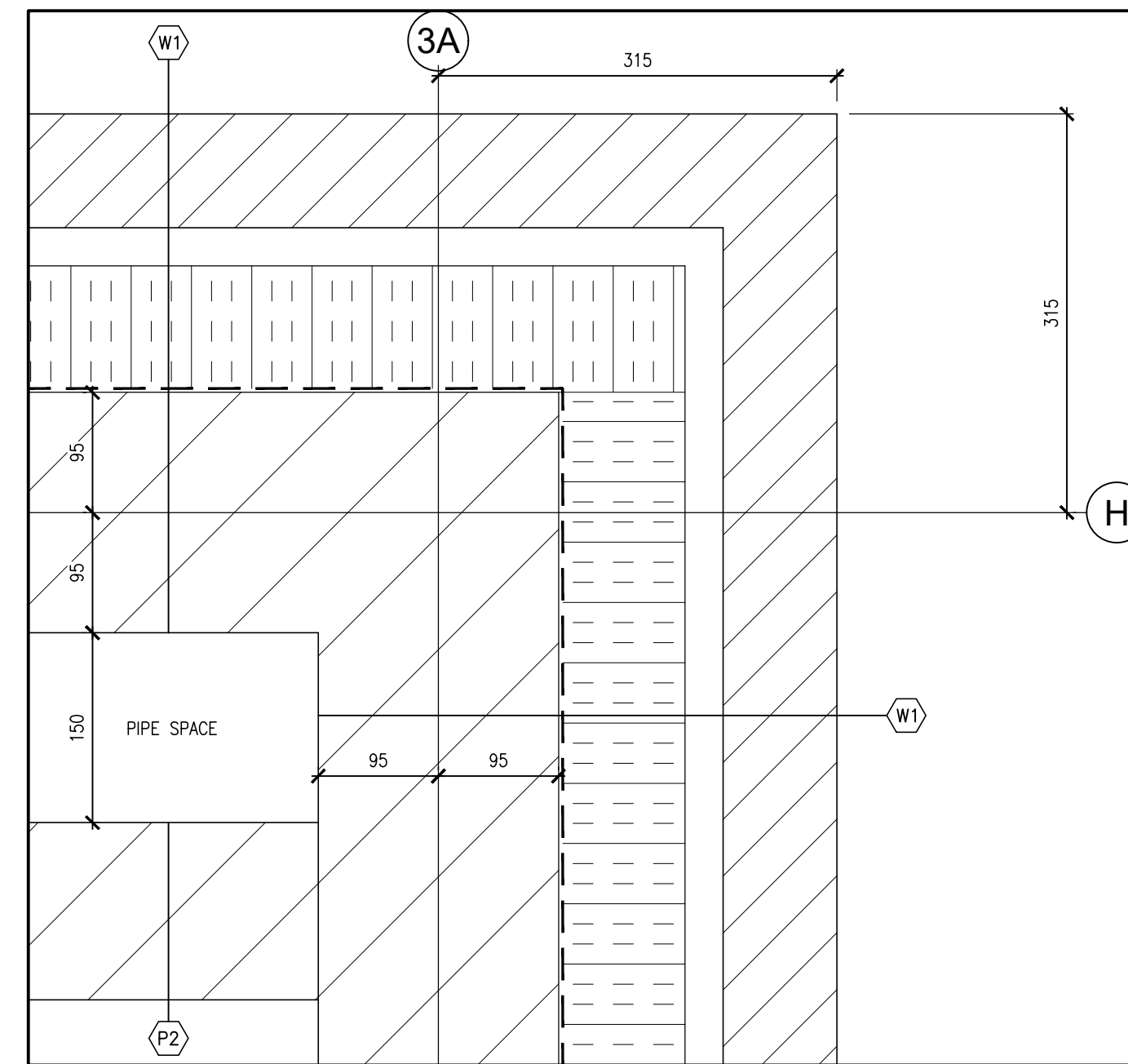
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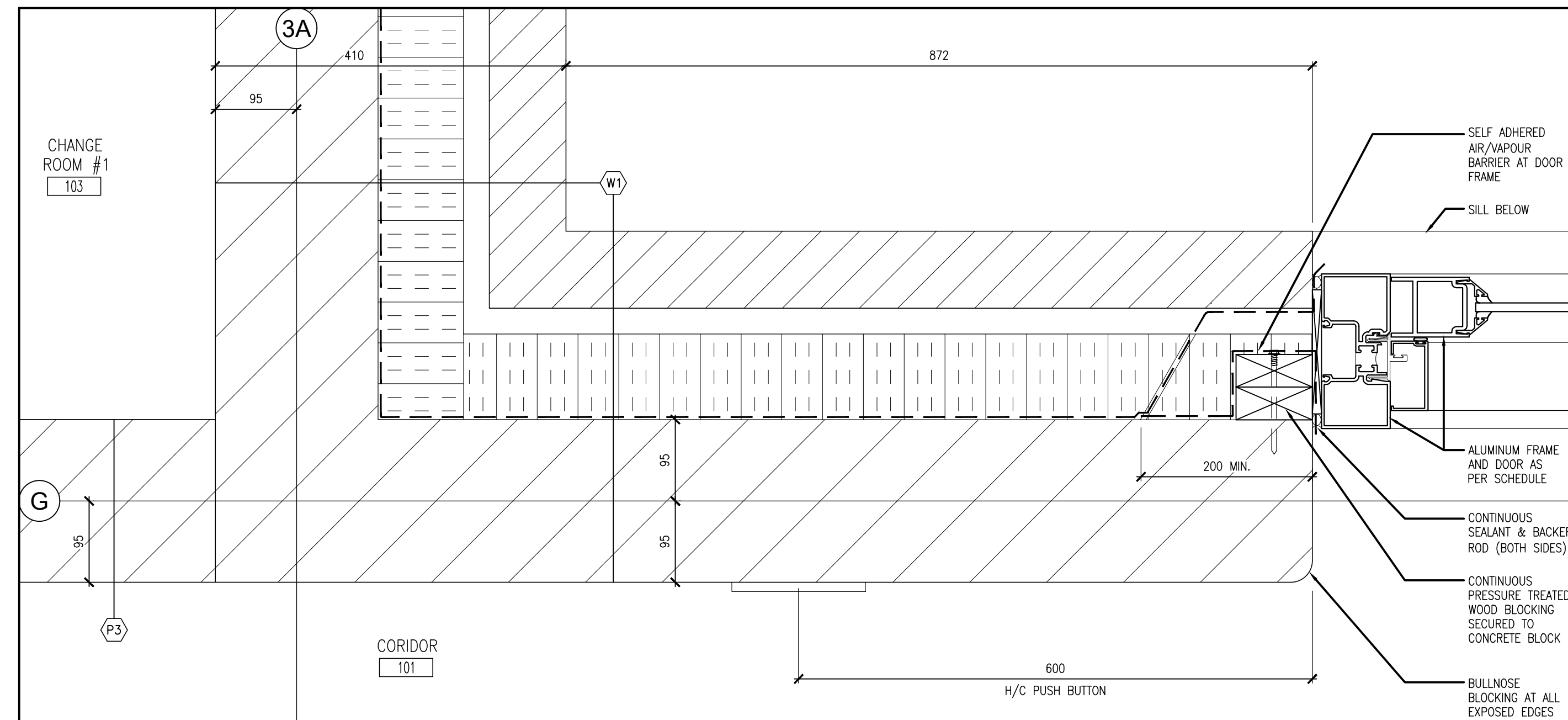
**A601** SECTION DETAIL  
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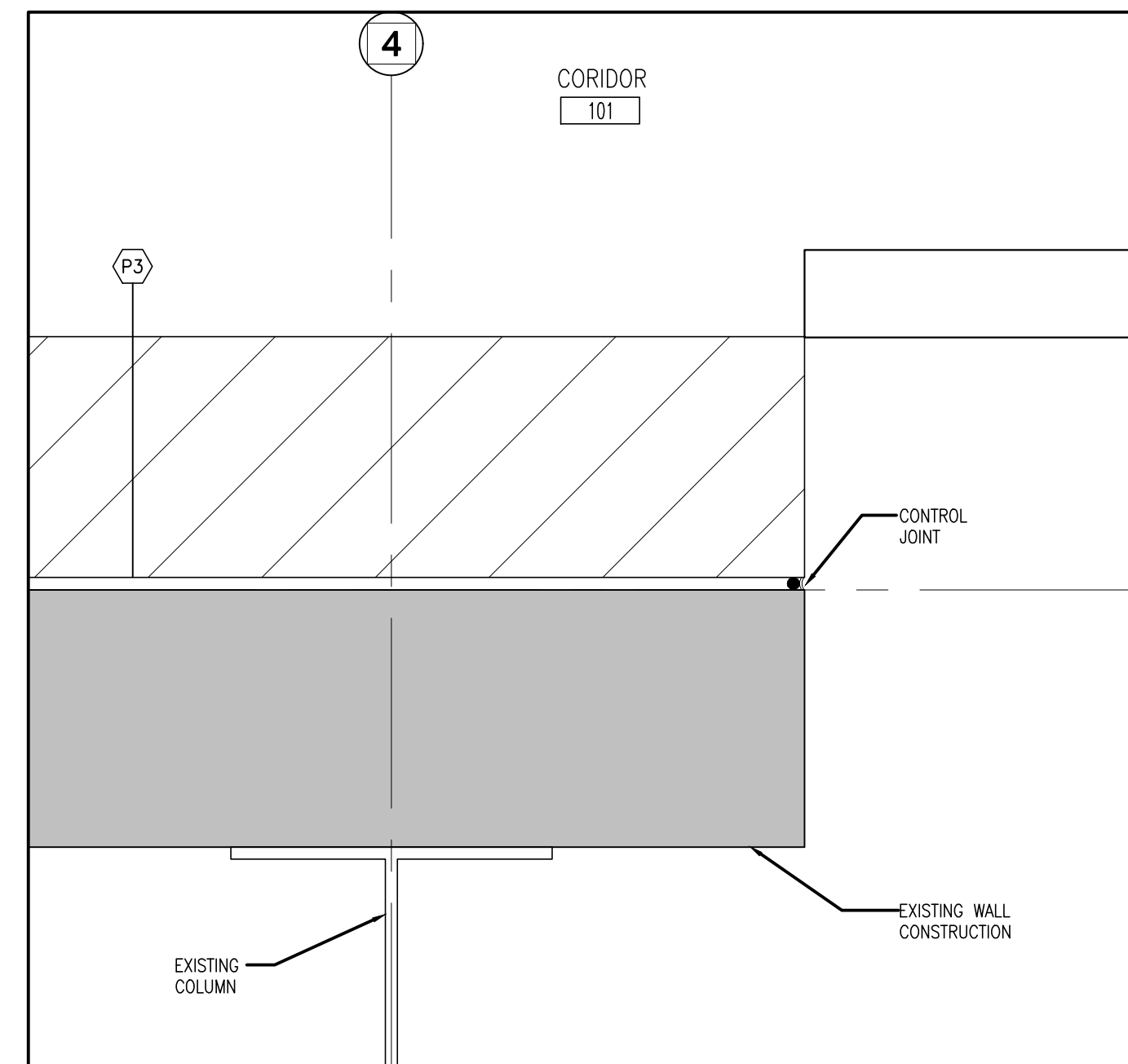
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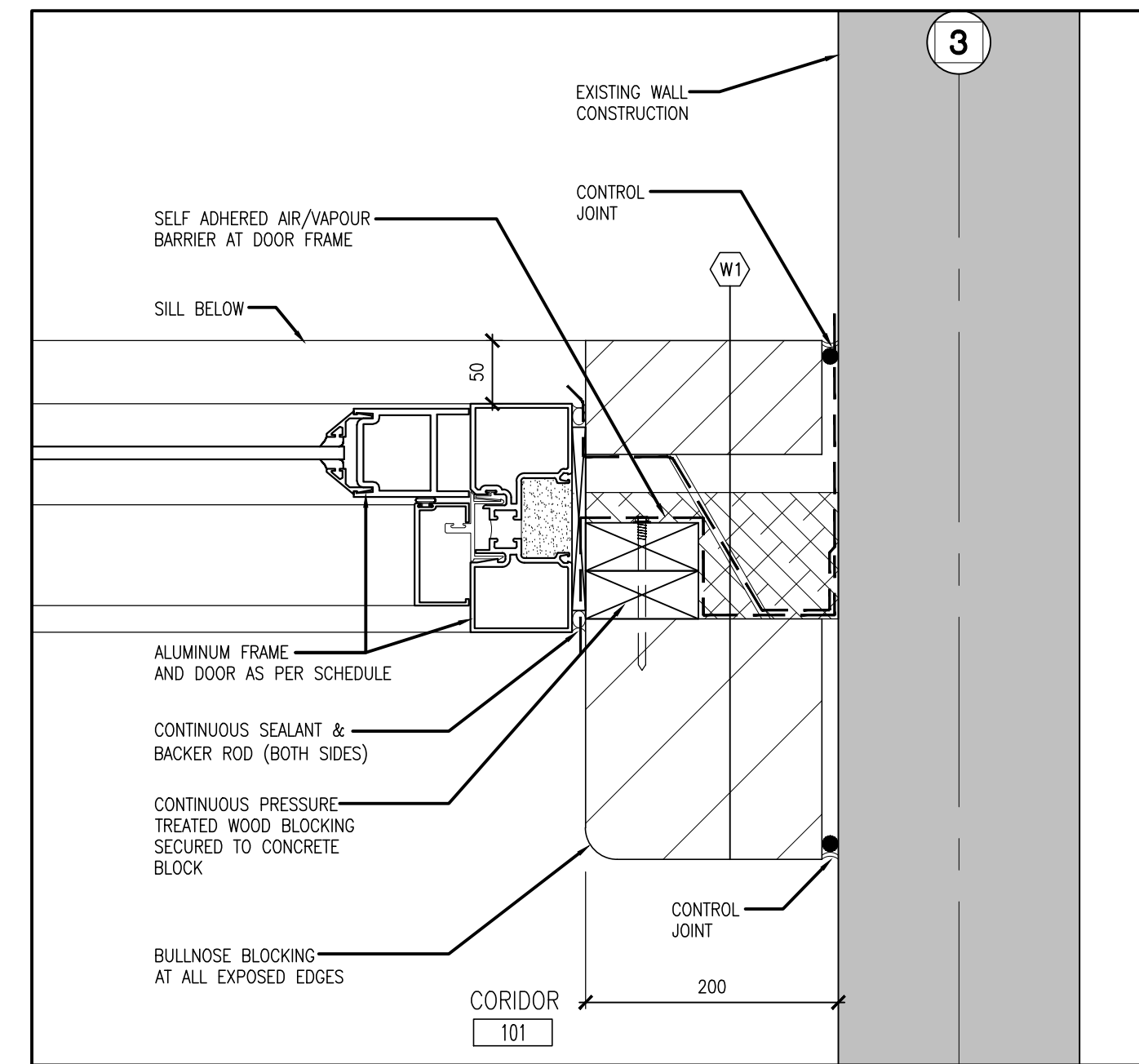
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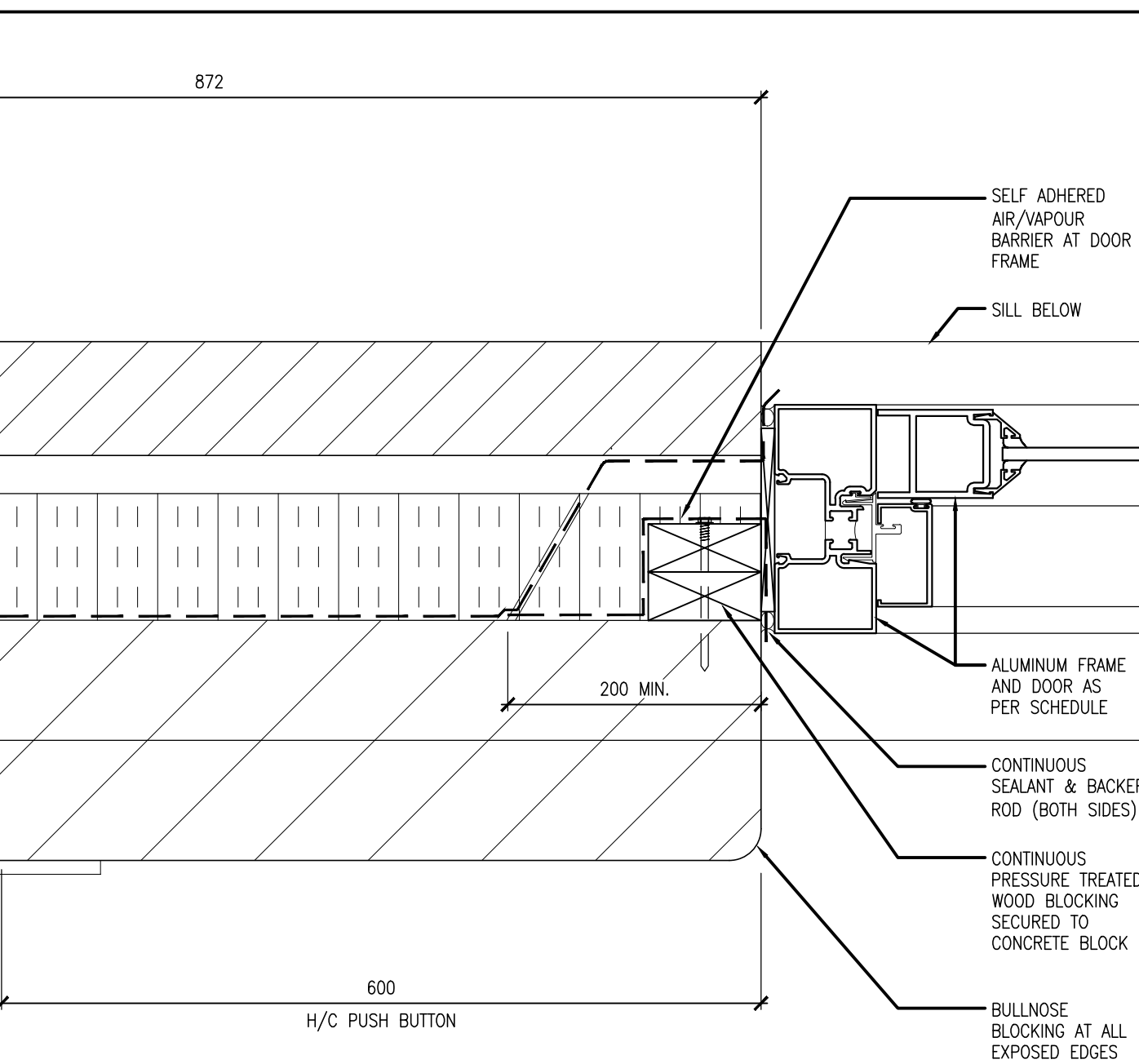
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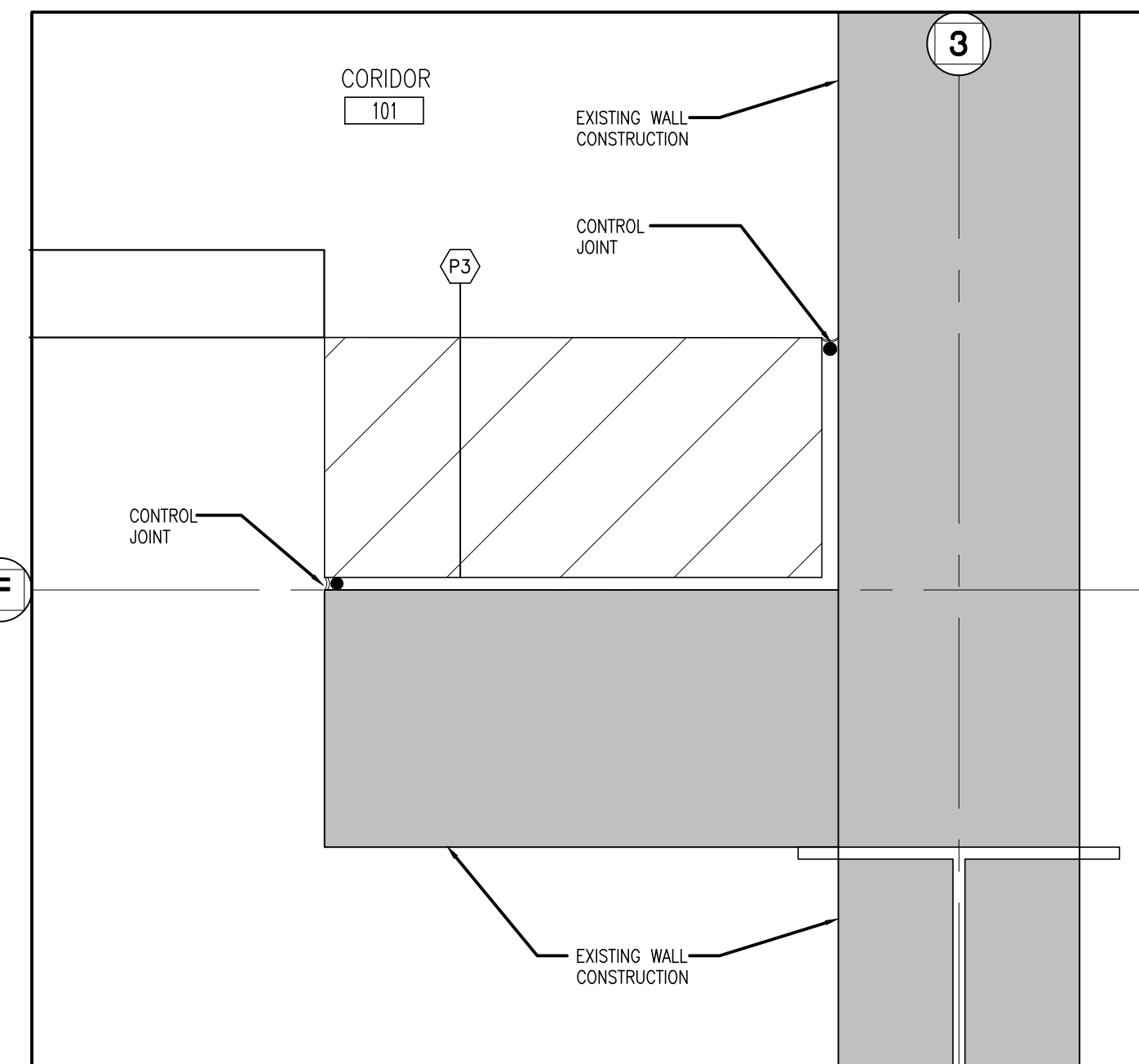
**A601** PLAN DETAIL  
1:5



**A601** PLAN DETAIL  
1:5



**A601** PLAN DETAIL  
1:5



**A601** PLAN DETAIL  
1:5

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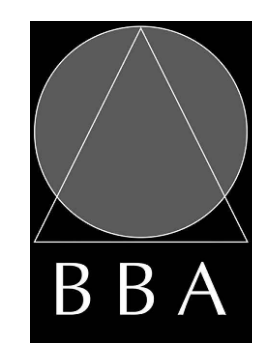


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 TOWN OF GRAND VALLEY

**DRAWING:**  
**PLAN DETAILS**



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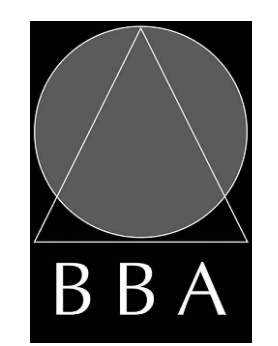
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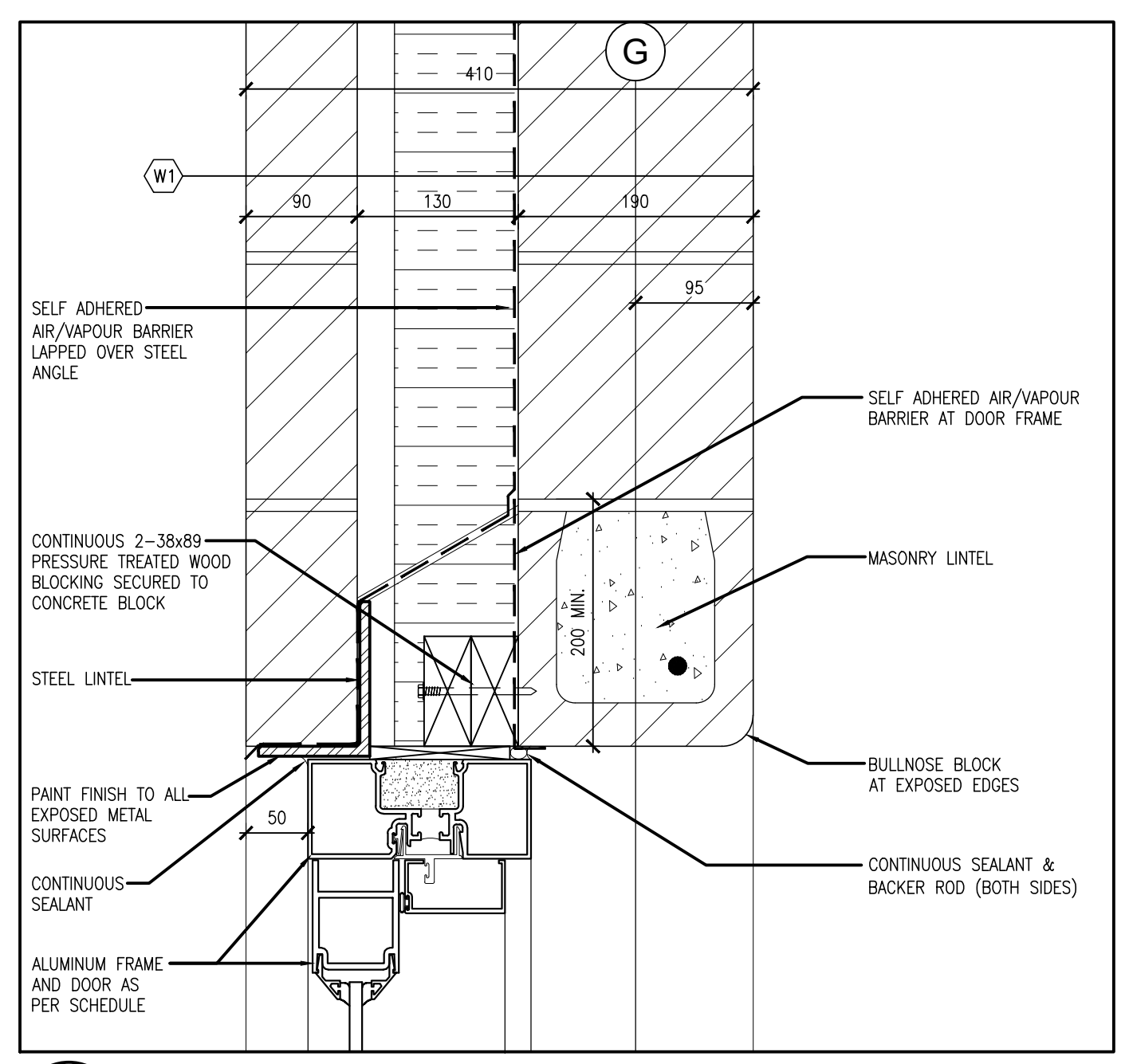
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**SECTION DETAILS**



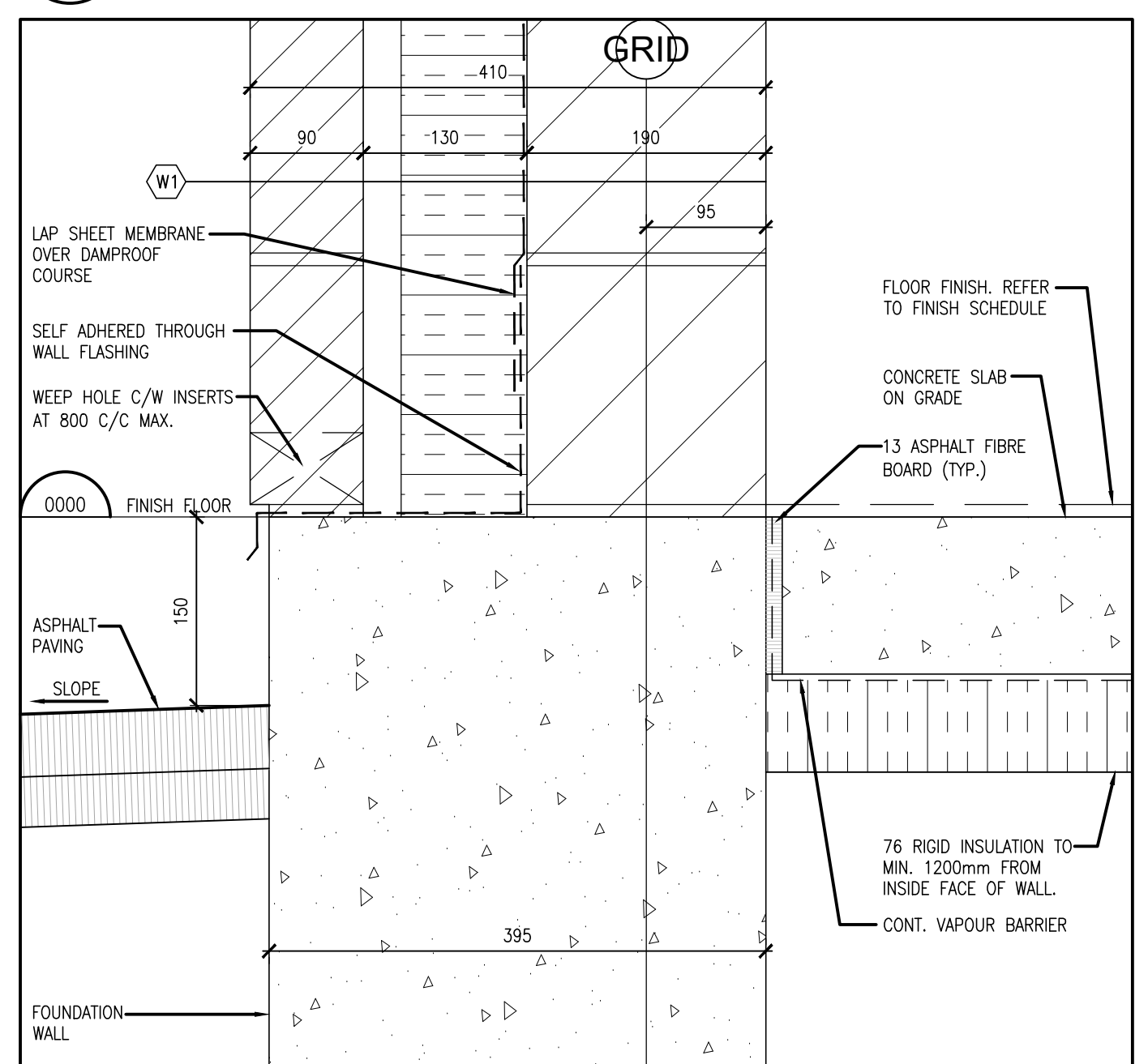
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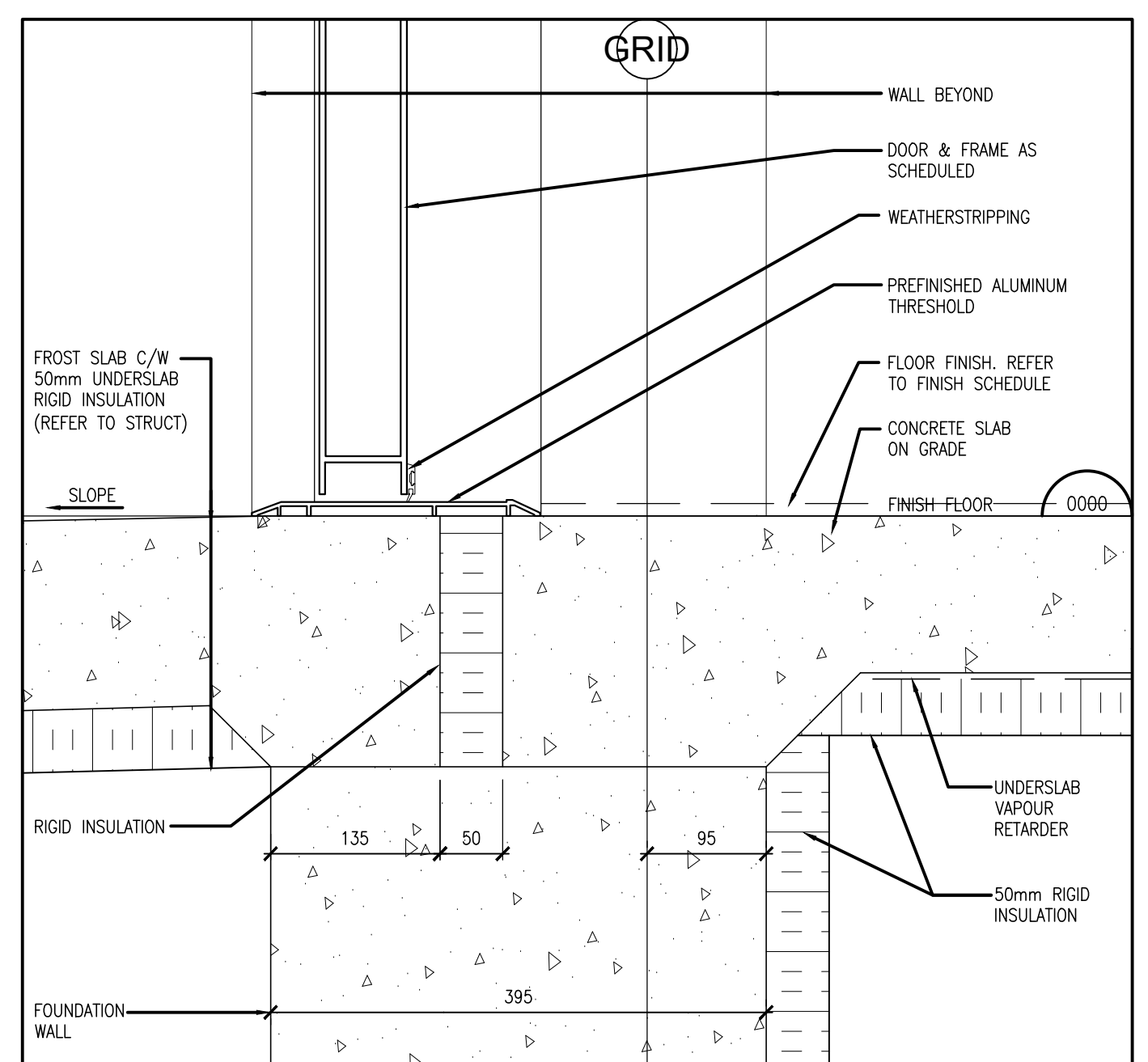
PROJECT NO: **21171**  
 DRAWING NO: **A602**



**A602** SECTION DETAIL  
1:5



**A602** SECTION DETAIL  
1:5



**A602** SECTION DETAIL  
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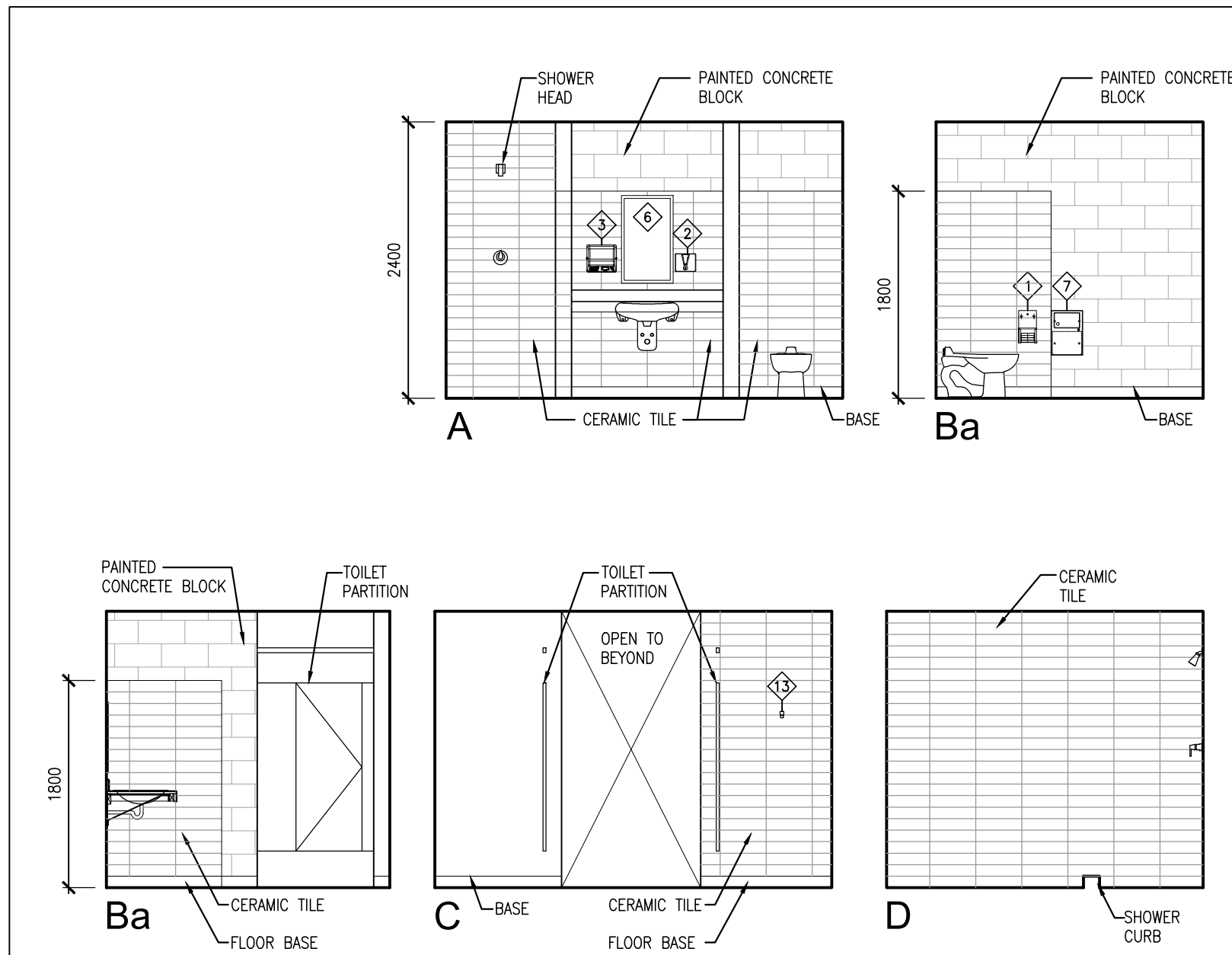
DRAWING:  
**INTERIOR ELEVATIONS**



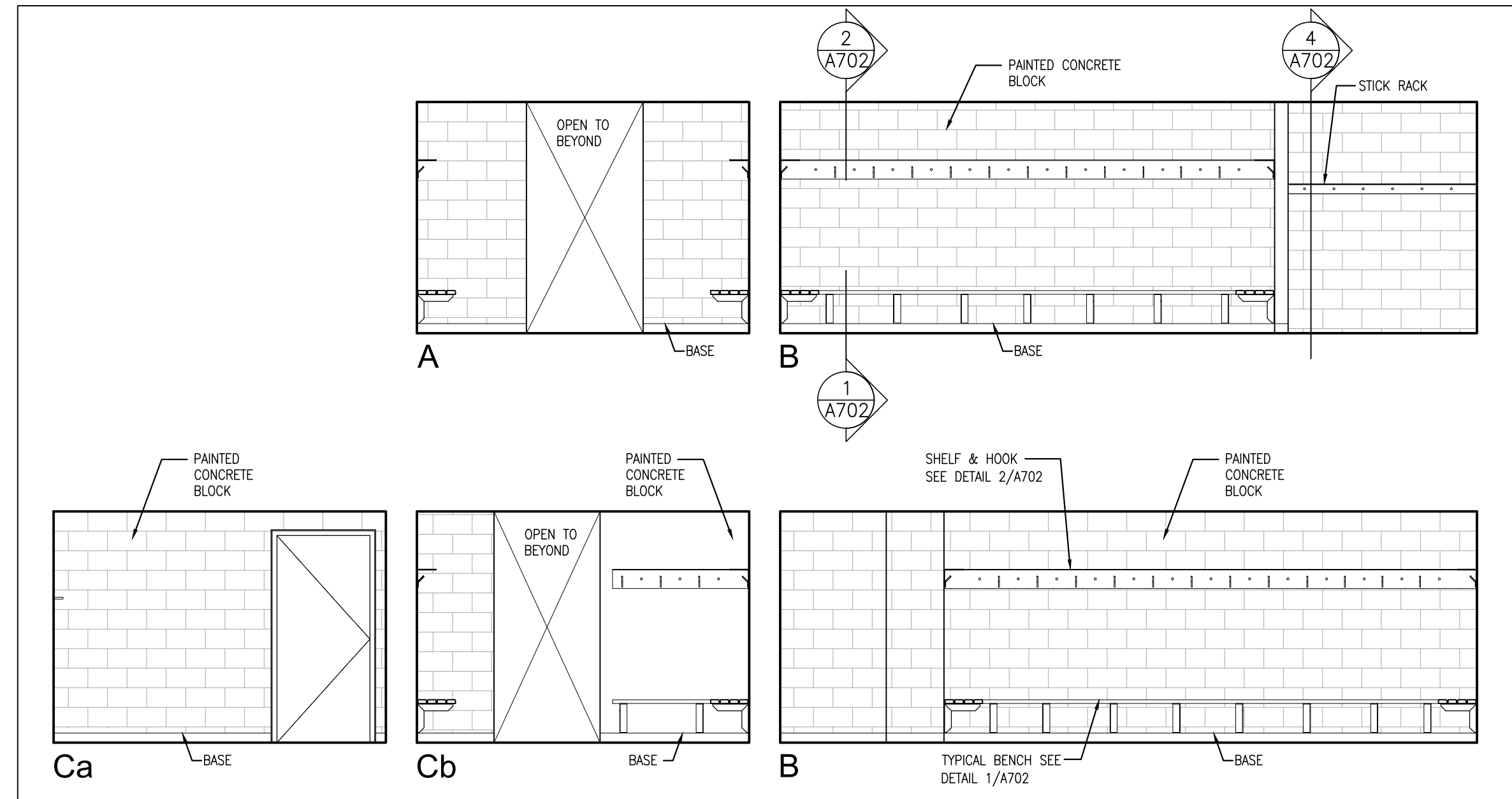
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FILE: 21171 A701-A702	

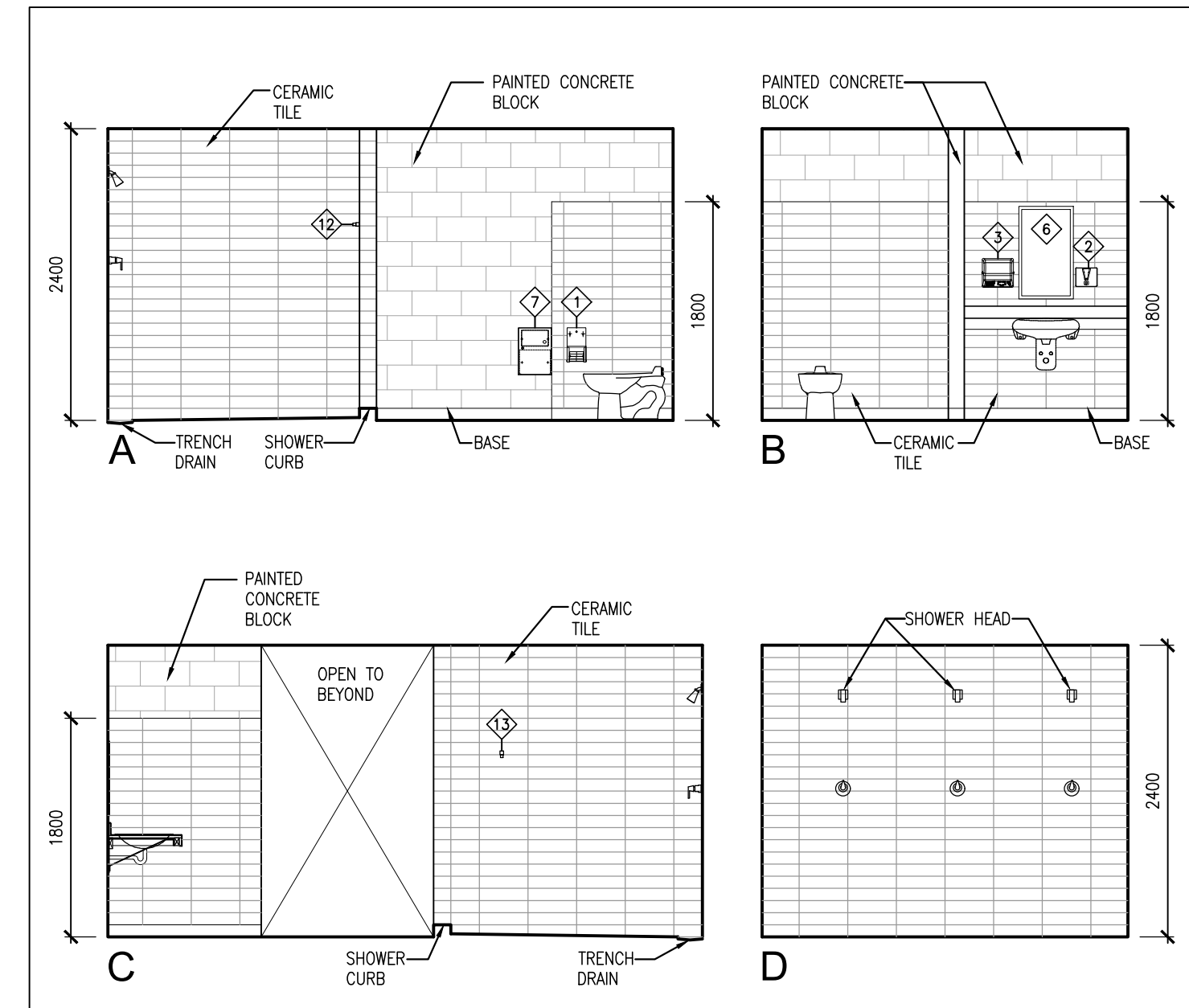
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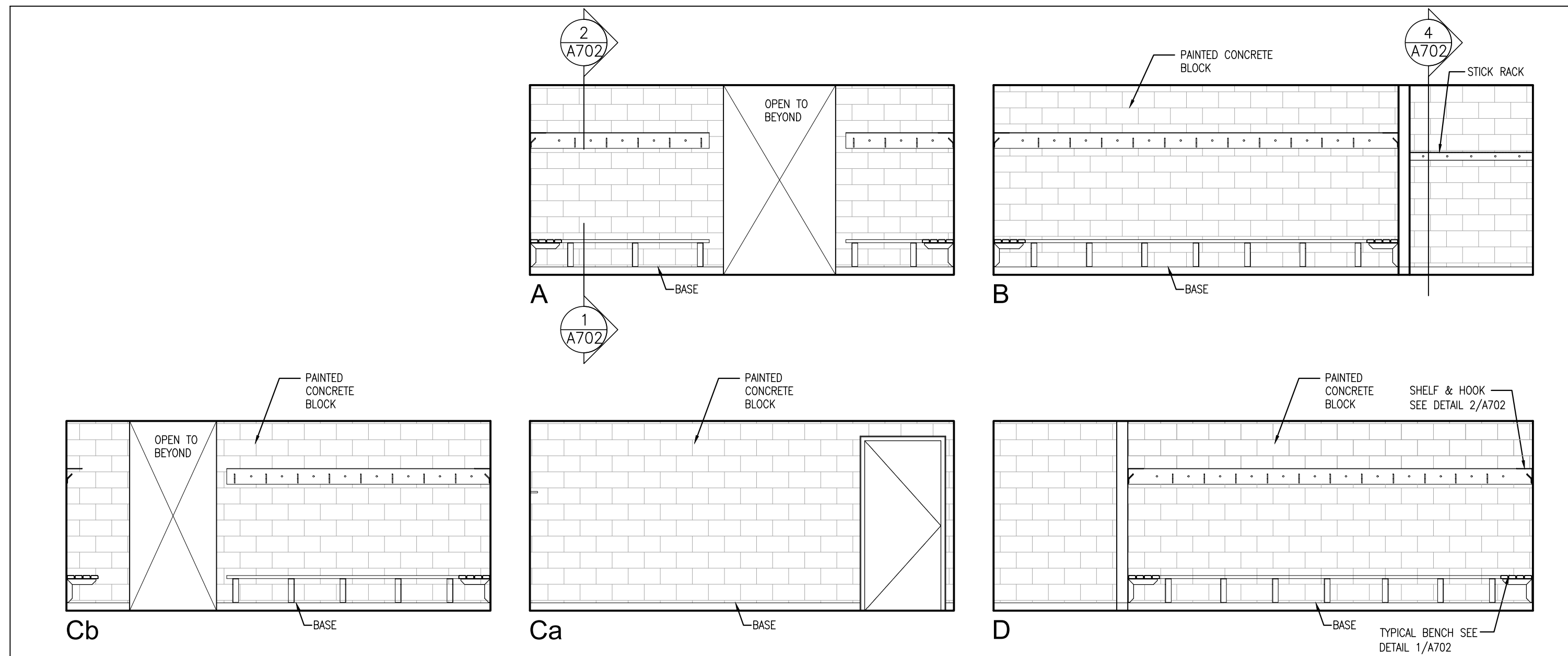
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A701 REFeree W/R & SHOWER  
1:50



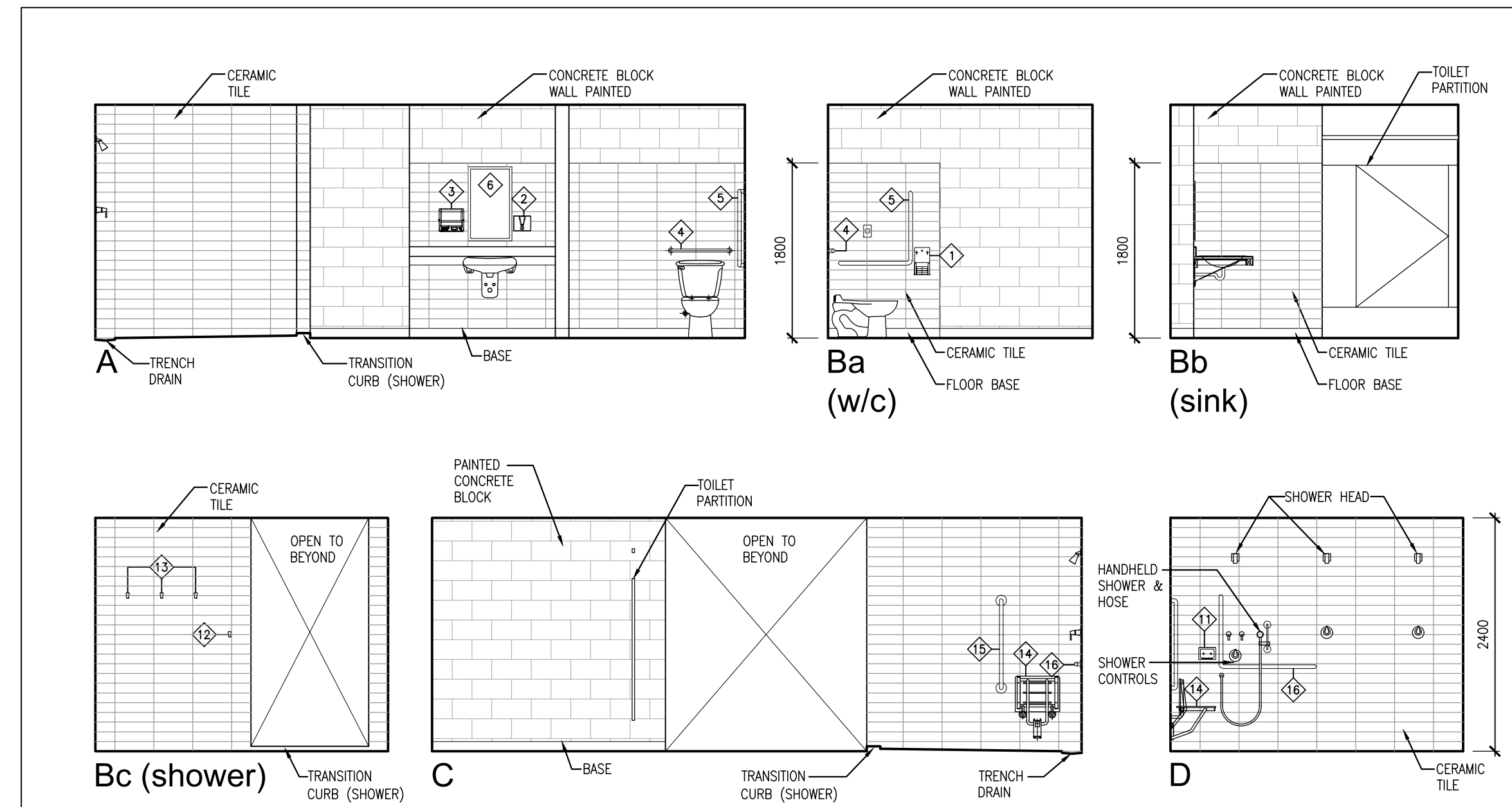
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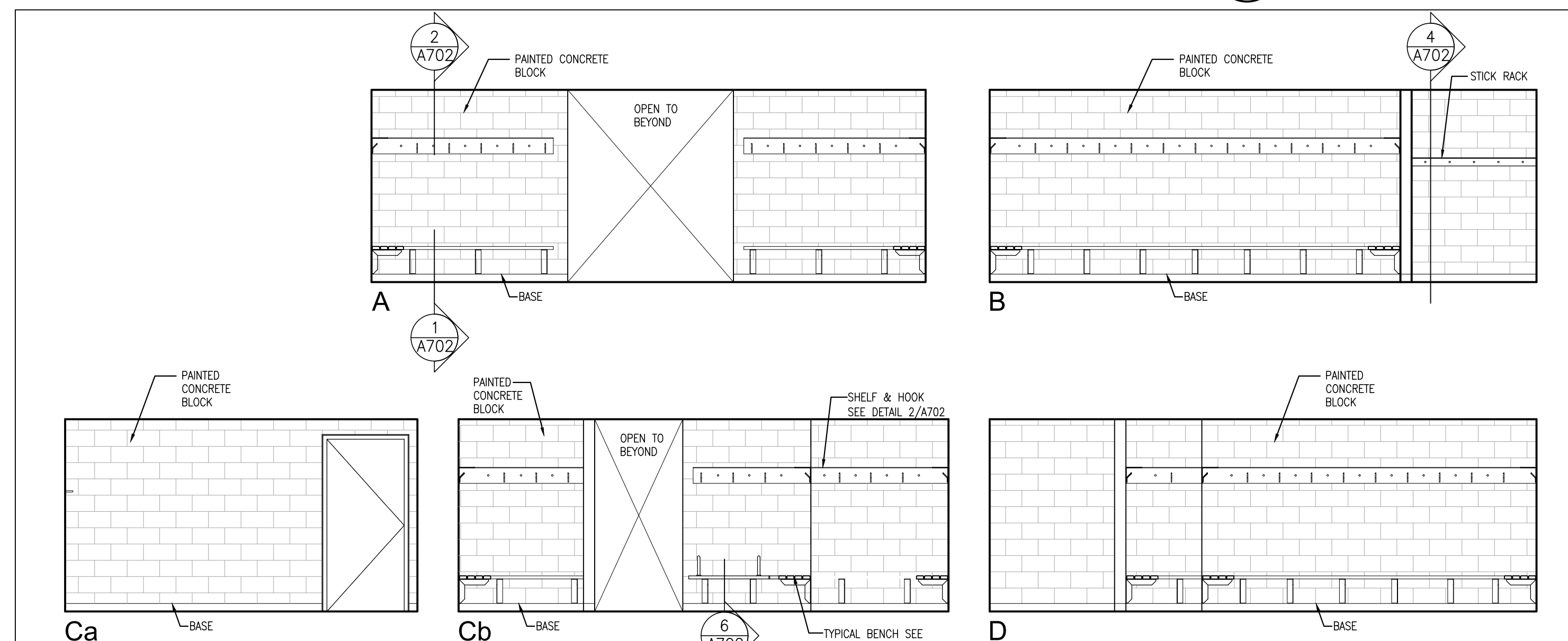
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1:50



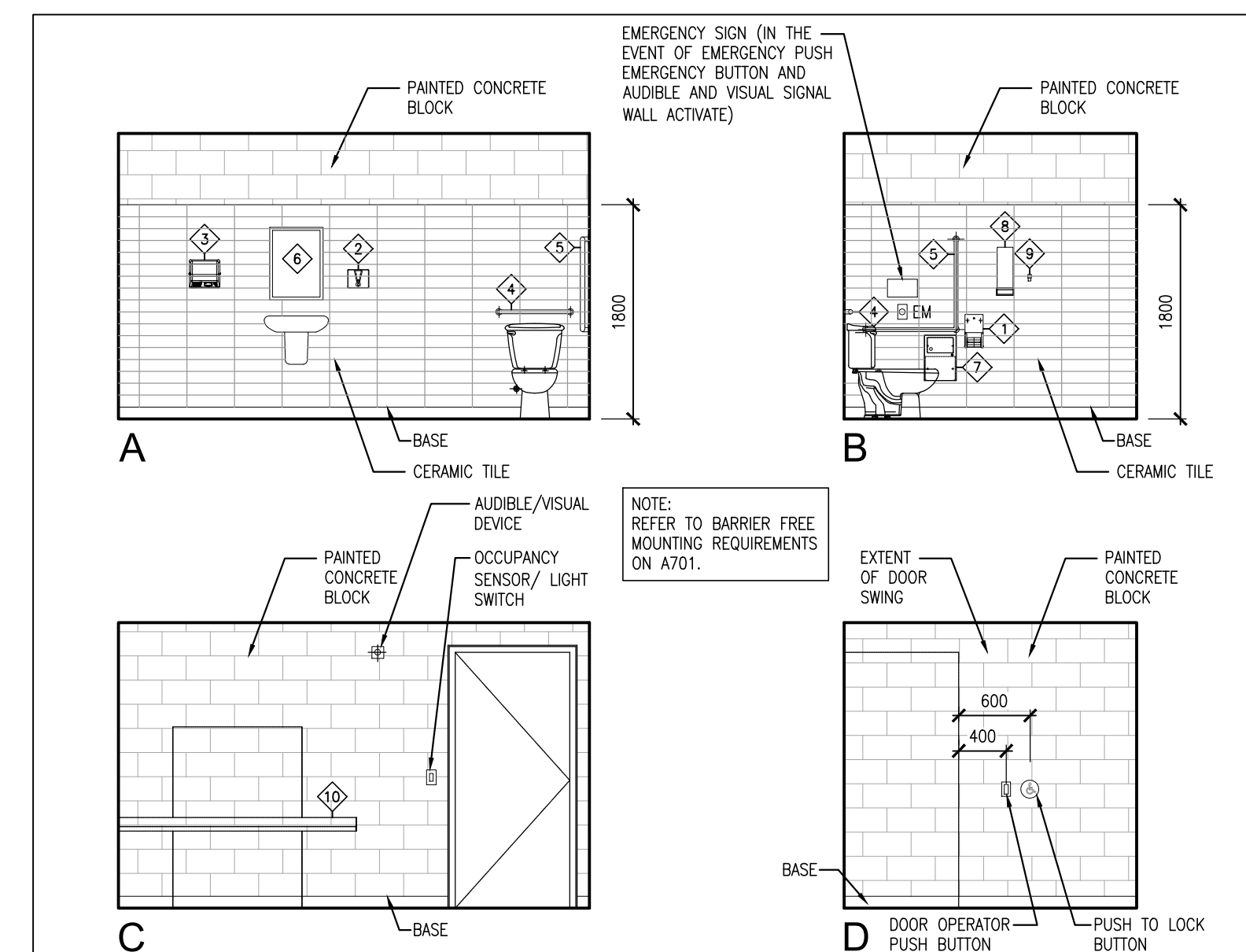
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1:50



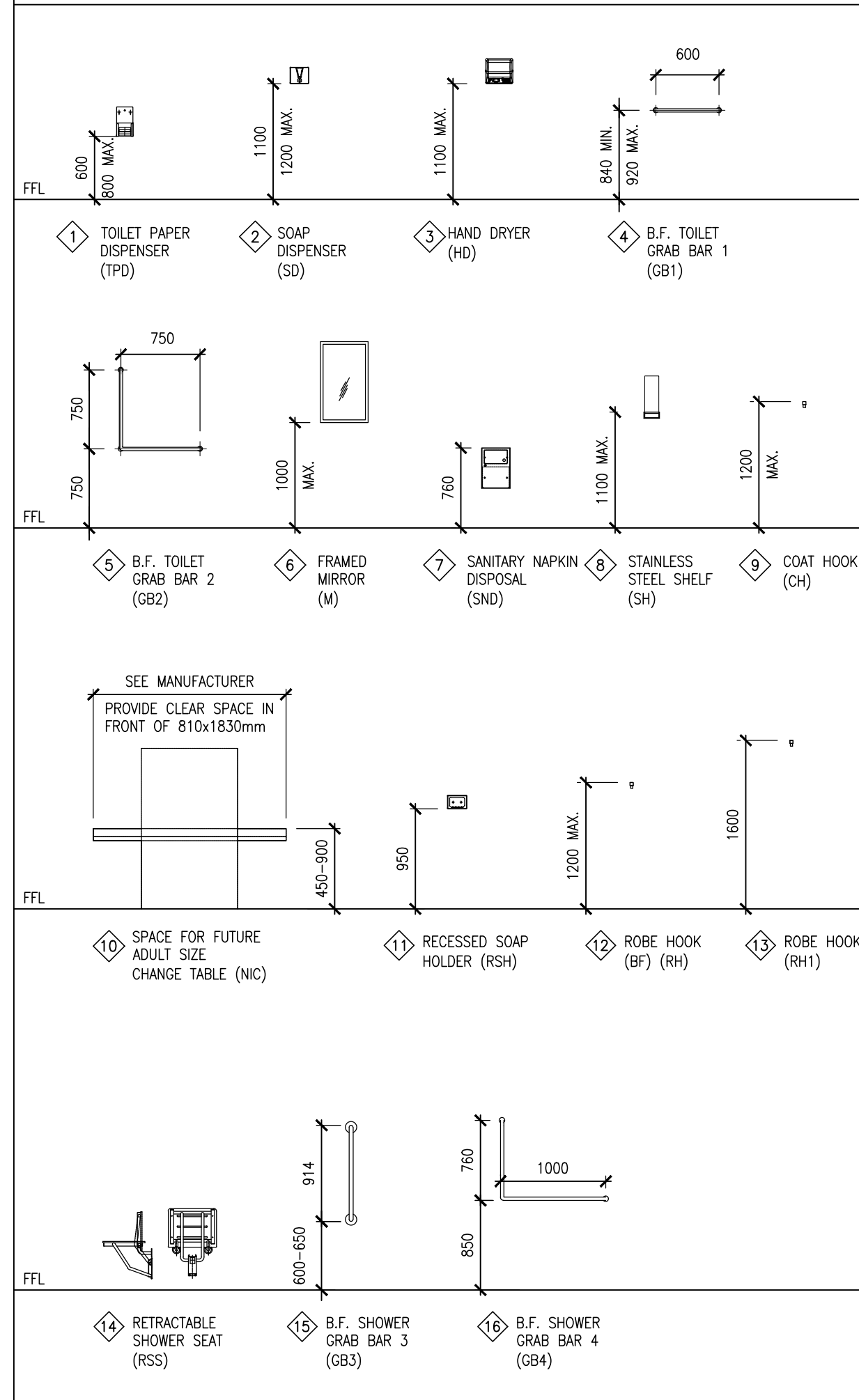
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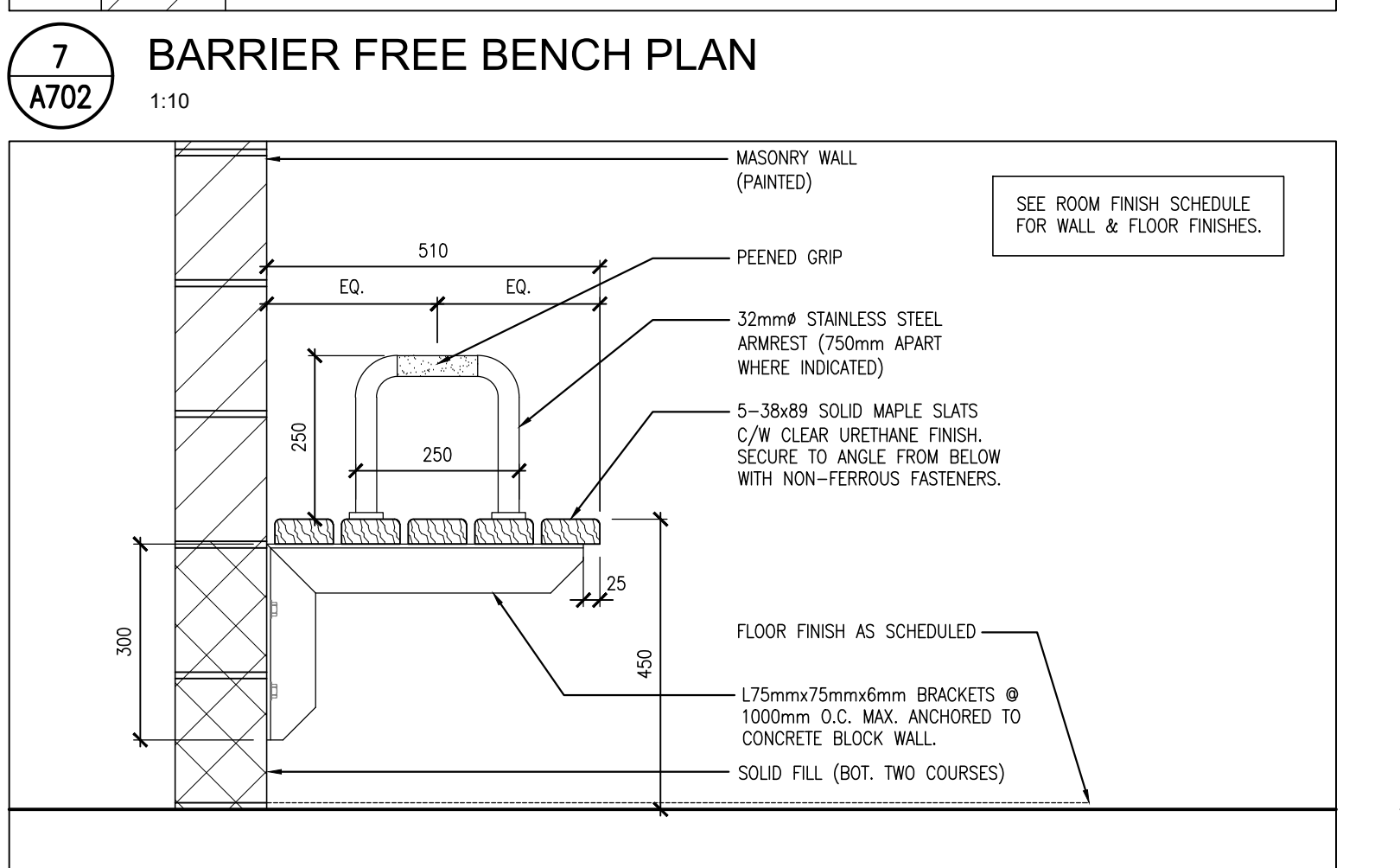
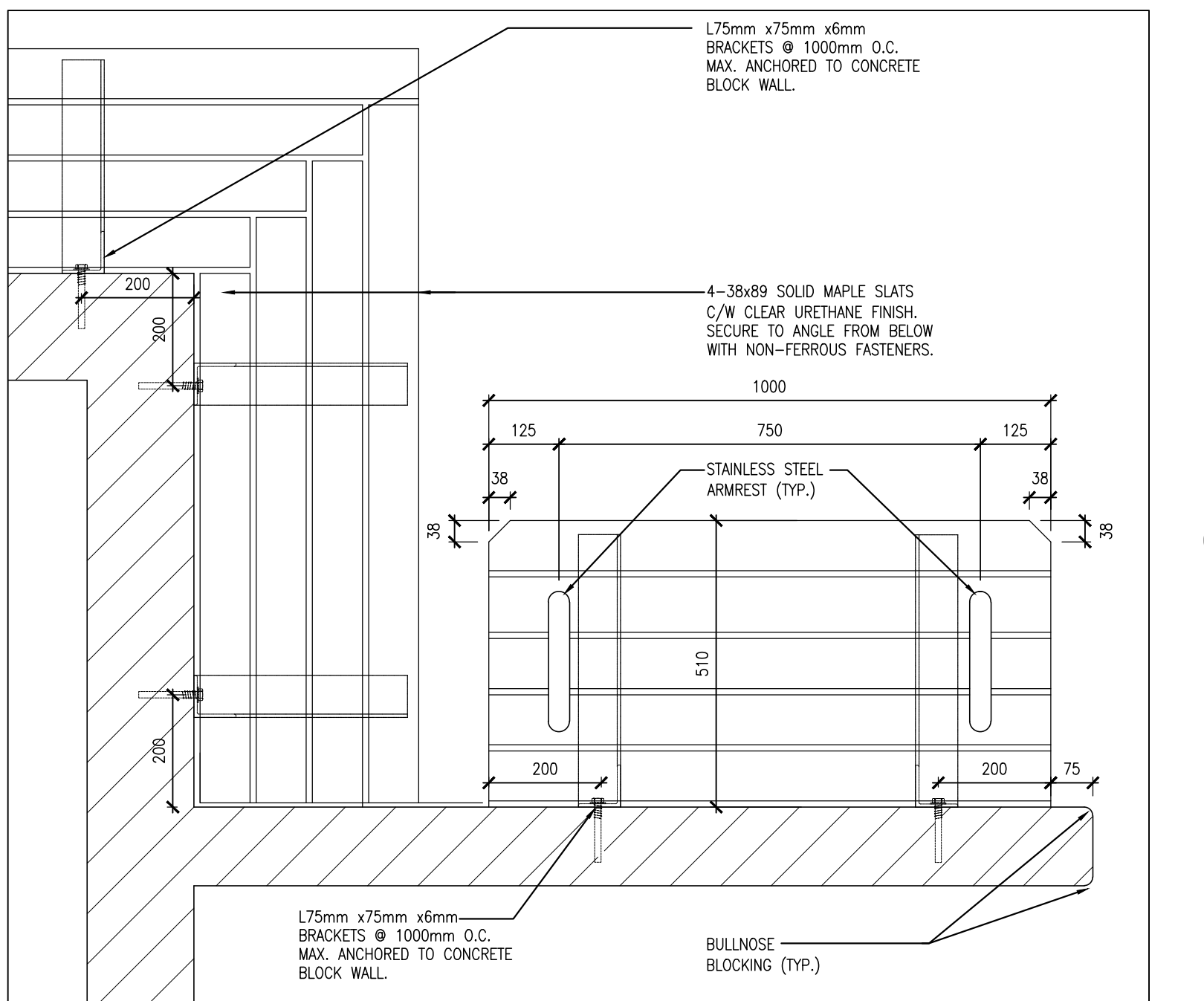
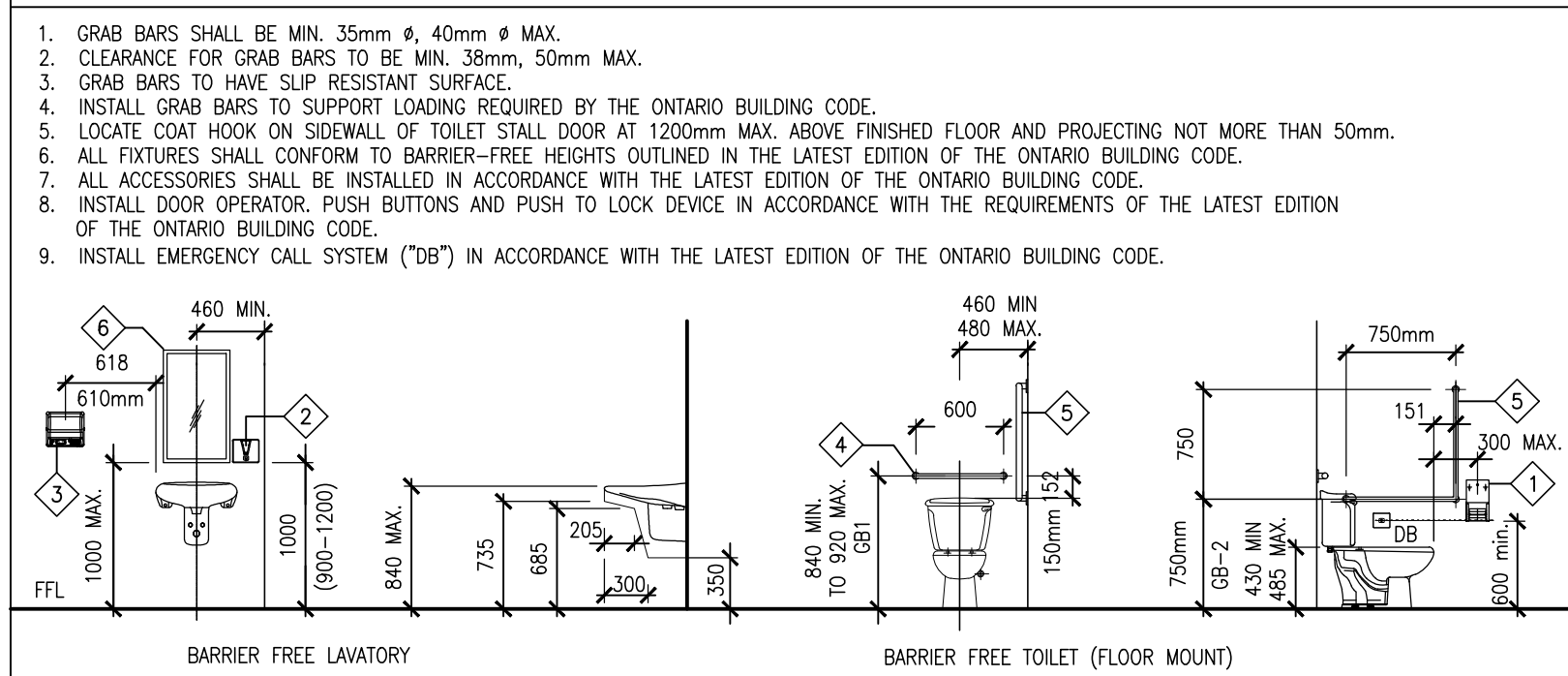
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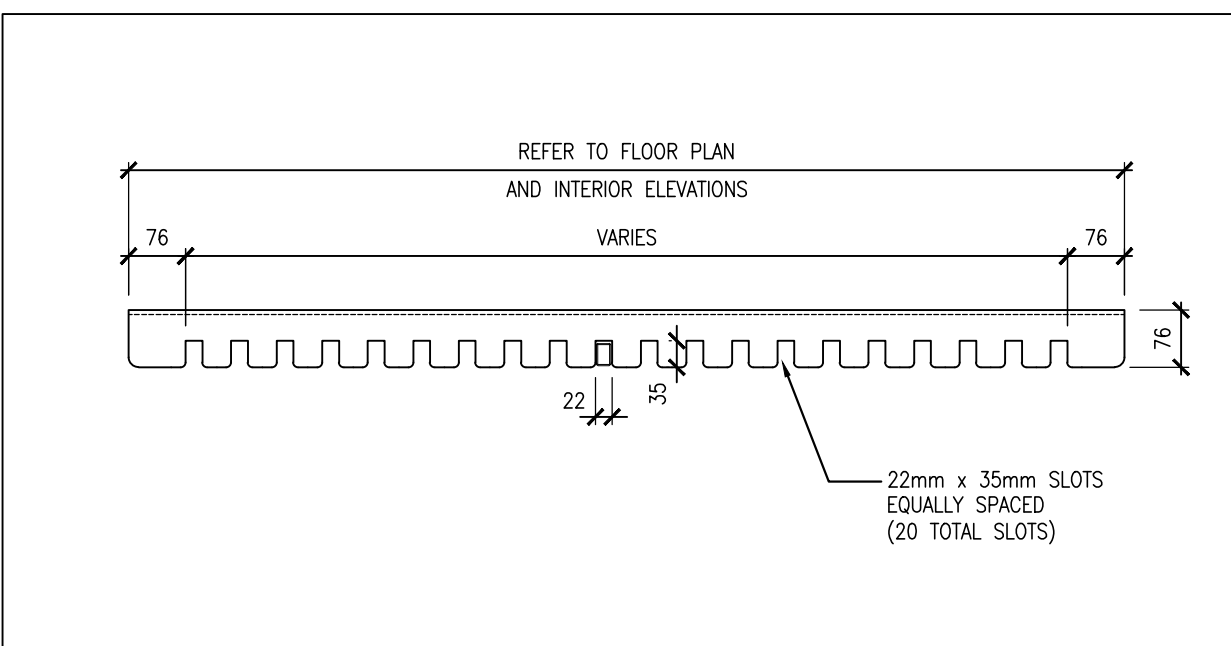
## WASHROOM ACCESSORIES MOUNTING HEIGHTS



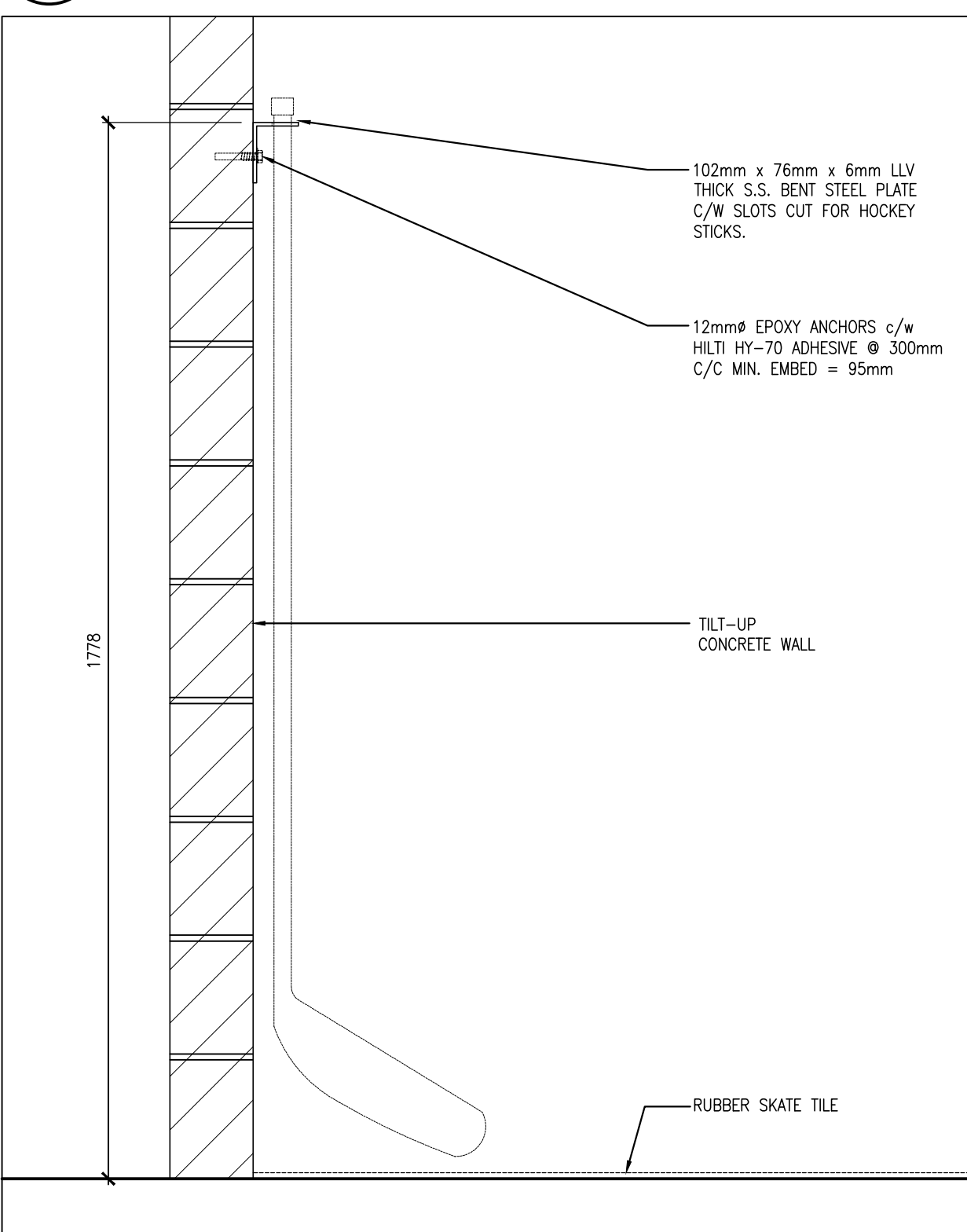
## BARRIER FREE MOUNTING HEIGHT REQUIREMENTS



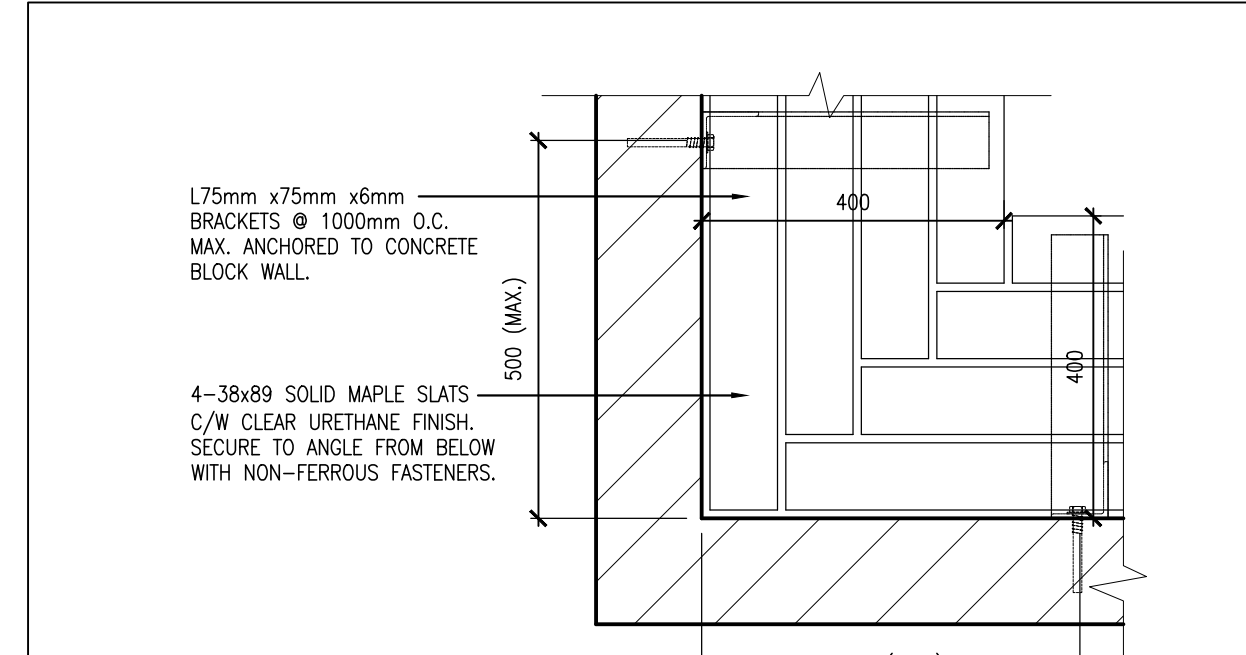
**6** BARRIER FREE BENCH W/ ARMREST  
1:10



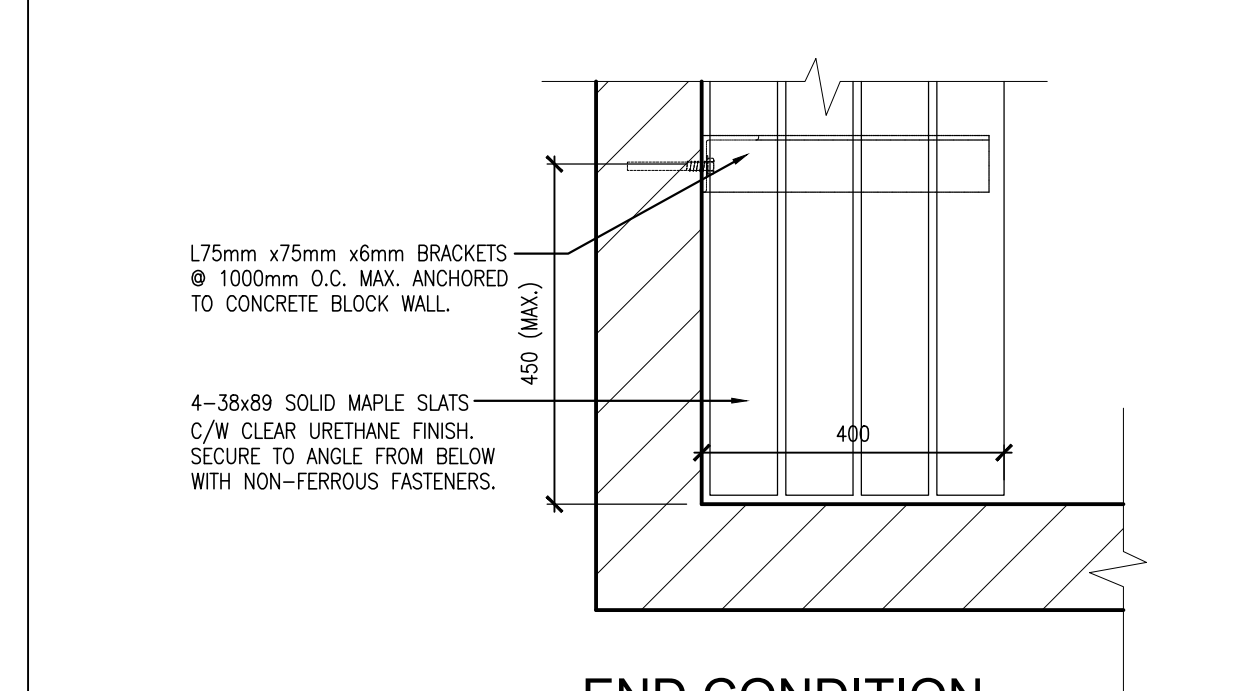
**5** STICK RACK PLAN DETAIL  
1:10



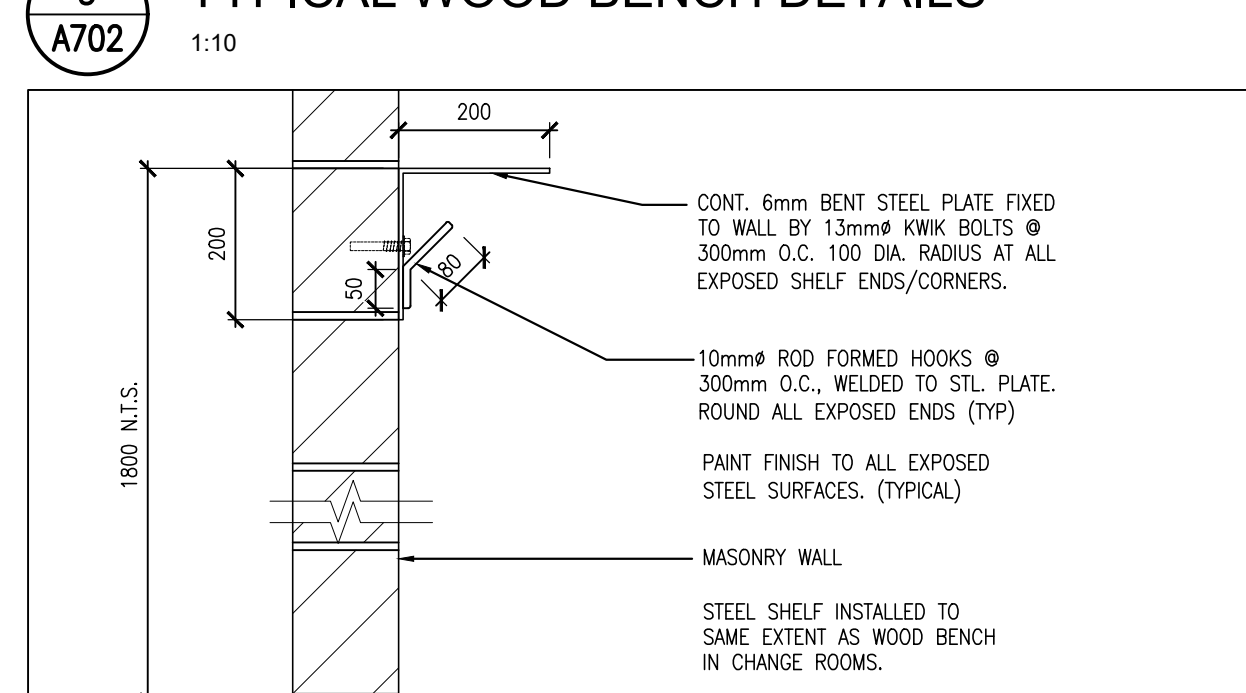
**4** STICK RACK SECTION DETAIL  
1:10



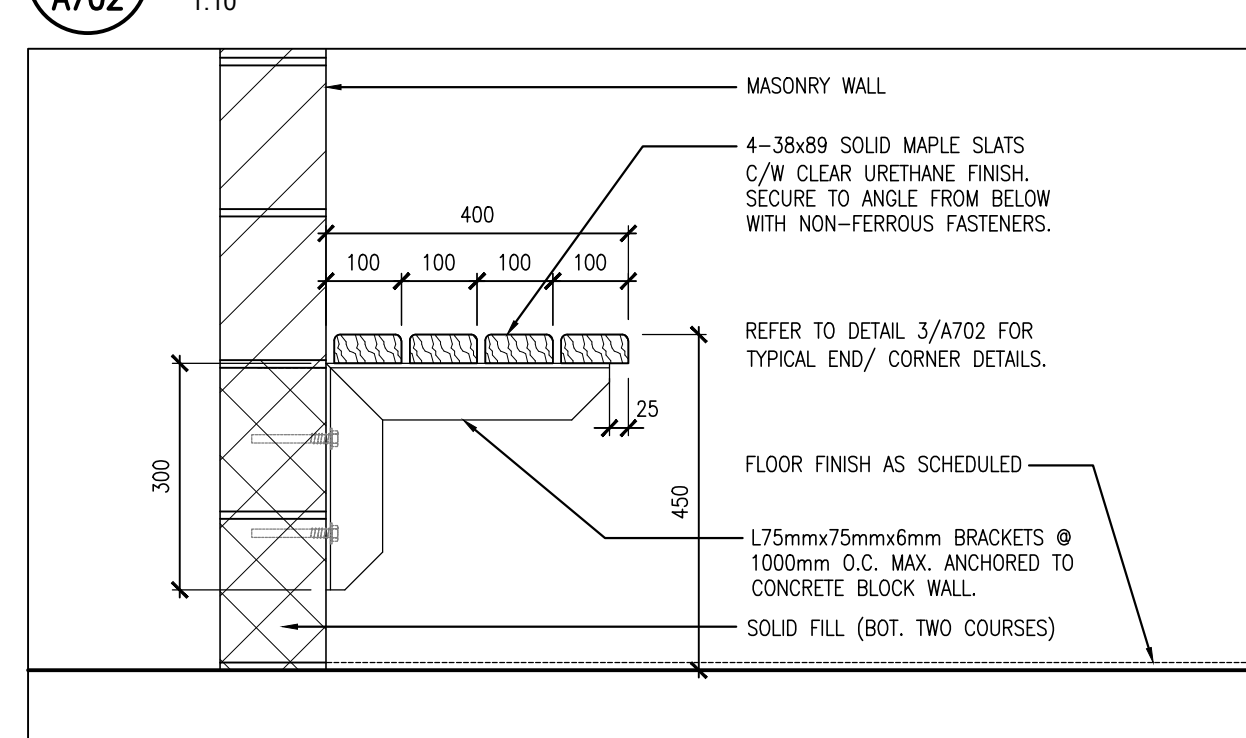
**3** TYPICAL WOOD BENCH DETAILS  
1:10



**3** TYPICAL WOOD BENCH DETAILS  
1:10



**2** CHANGEROOM SHelf DETAIL  
1:10



**1** BENCH DETAIL @ CHANGEROOMS  
1:10

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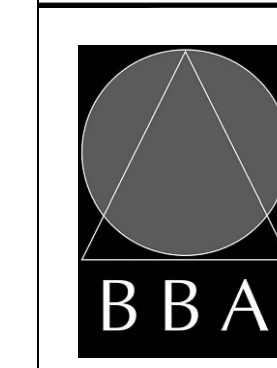


NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA

NO.	REVISIONS	DATE	BY

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**CHANGE ROOM DETAILS AND W/R ACCESSORIES**



**BARRY BRYAN ASSOCIATES**  
Architects  
Engineers  
Project Managers  
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L1N 0G5  
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Fax: (905) 666-5256  
e-mail: bba@bba-archeng.com

DESIGN BY: BBA  
DRAWN BY: JJA  
CHECKED BY: JJA  
DATE: NOV. 28, 2023  
SCALE: AS NOTED  
FILE: 21171 A701-A702

PROJECT NO: **21171**  
DRAWING NO: **A702**

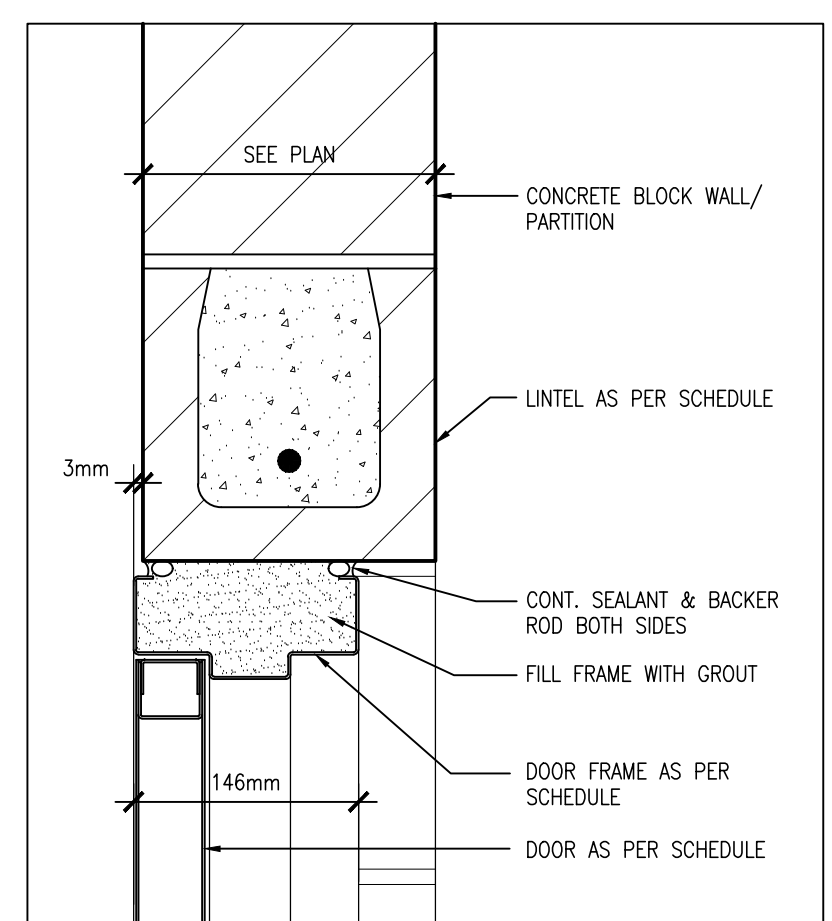


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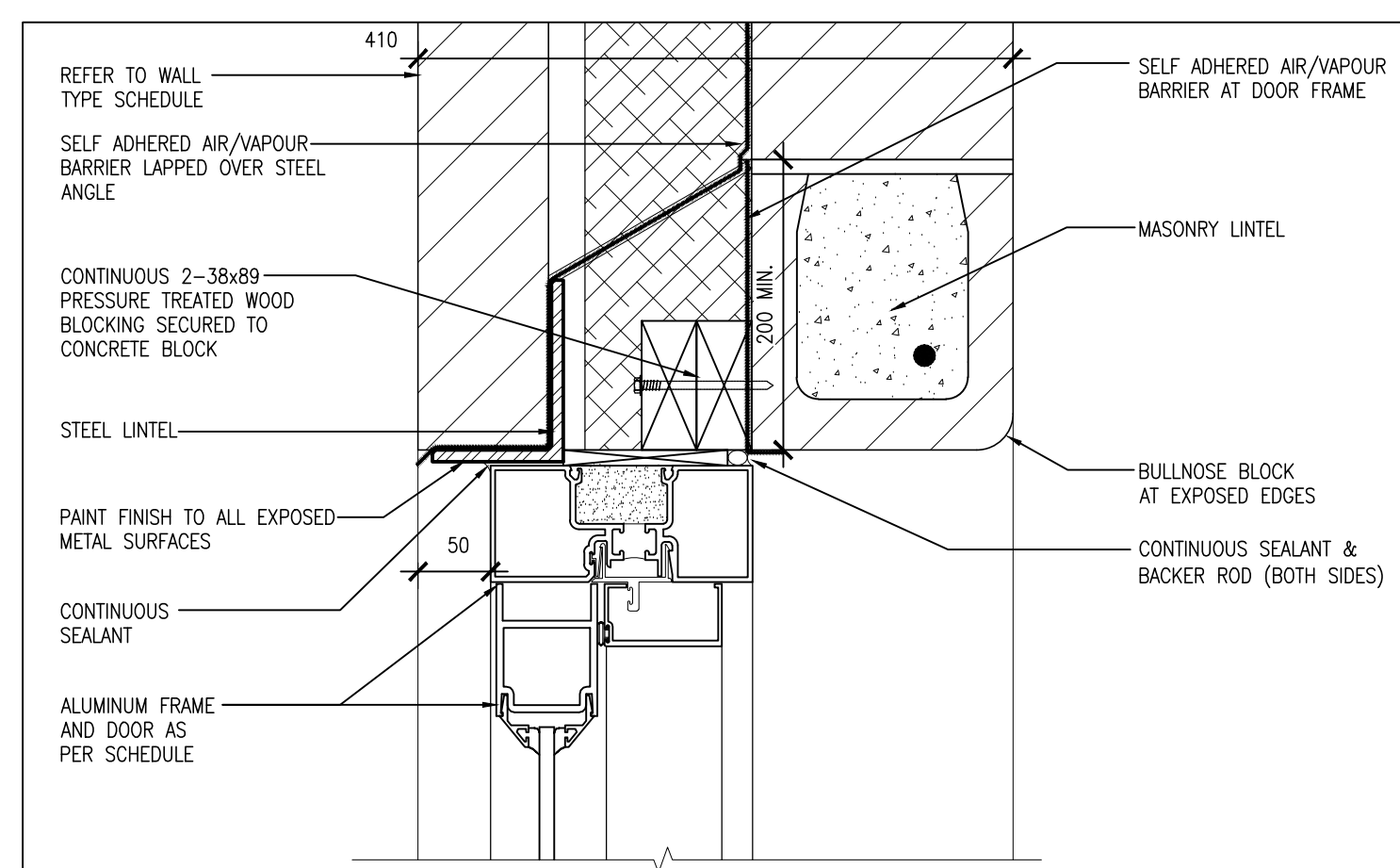


NO.	ISSUES	DATE	BY
1	ISSUED FOR CLIENT REVIEW	NOV. 28, 2023	BBA

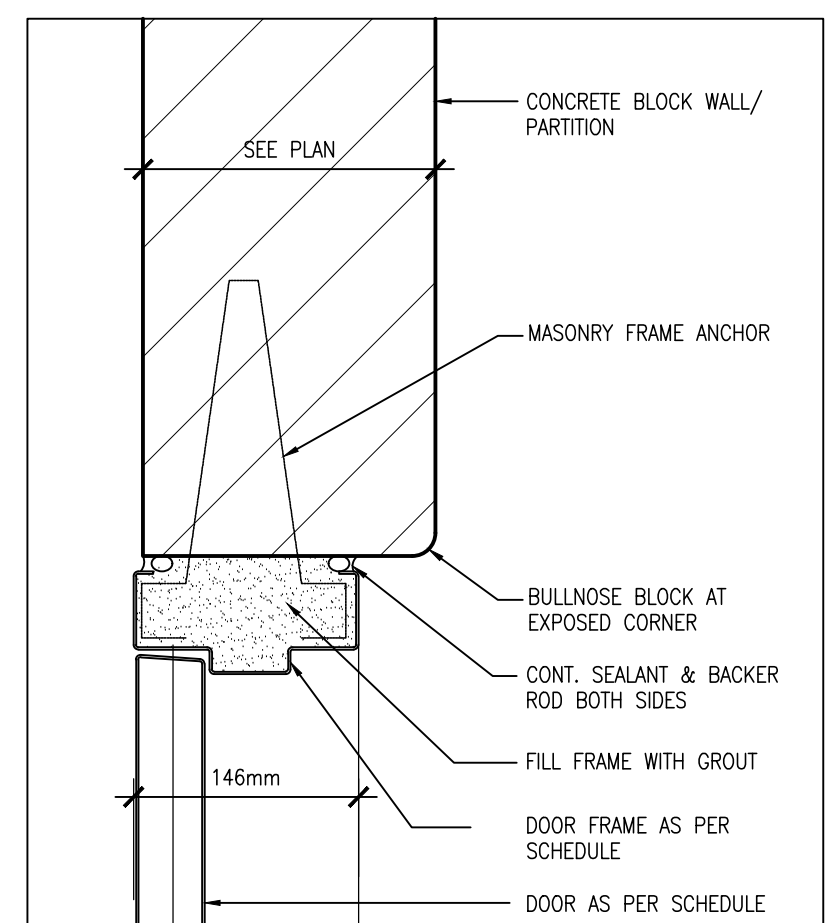
FINISH ABBREVIATION LEGEND				NOTES			
ACP	ACOUSTIC CEILING PANEL	PS	PRESSED STEEL	1.	ALL EXPOSED METAL IN INTERIOR TO BE PAINT FINISH.		
ALUM	ALUMINUM	P	PAINT	2.	UNLESS OTHERWISE INDICATED, ALL WALLS SHALL HAVE PAINT FINISH.		
CB	CONCRETE BLOCK	PLAM	PLASTIC LAMINATE	3.	PAINT GYPSUM BOARD WALLS AND BULKHEADS.		
CLG	CEILING	P.T.	PRESSURE TREATED	4.	PAINT ALL ROOF STEEL AND DECK EXCEPT ACOUSTIC DECK.		
CONC	CONCRETE	R	RUBBER	5.	ALL EXPOSED DUCTWORK AND PIPING SHALL RECEIVE PAINT FINISH.		
CT	CERAMIC TILE	RST	RUBBER SKATE TILE	6.	REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION.		
DB	DASHER BOARDS	SC	SEALED CONCRETE	7.	BASE PAINTED TO MATCH EXISTING HEIGHT AND COLOUR.		
EX	EXISTING	SF	SHEET FLOORING	8.	WALL TILE TYPE 3 : BONE 4" x 12" BRIGHT		
EXP	EXPOSED STRUCTURE	SP	SPANDREL PANEL	9.	ENSURE POSITIVE TRANSITION / HIGH POINT AT SHOWER FLOORS (TYP)		
FFE	FINISHED FLOOR ELEVATION	SSS	STAINLESS STEEL SINK	10.	ALL EXPOSED CONCRETE BLOCK CORNER TO BE BULLNOSED.		
FIN	FINISHED	STL	STEEL				
FL	FLOOR	TO	TEMPERED GLASS				
FRP	FIBREGLAS-RESIN PANEL	TERR	TERRAZZO				
FRR	FIRE RESISTANCE RATING	URETH	URETHANE				
G	GLASS	WD	WOOD				
GB	GYPSUM BOARD						
HM	HOLLOW METAL						
IMP	INSULATED METAL PANEL						
MTL	METAL						
OH	OVERHEAD						



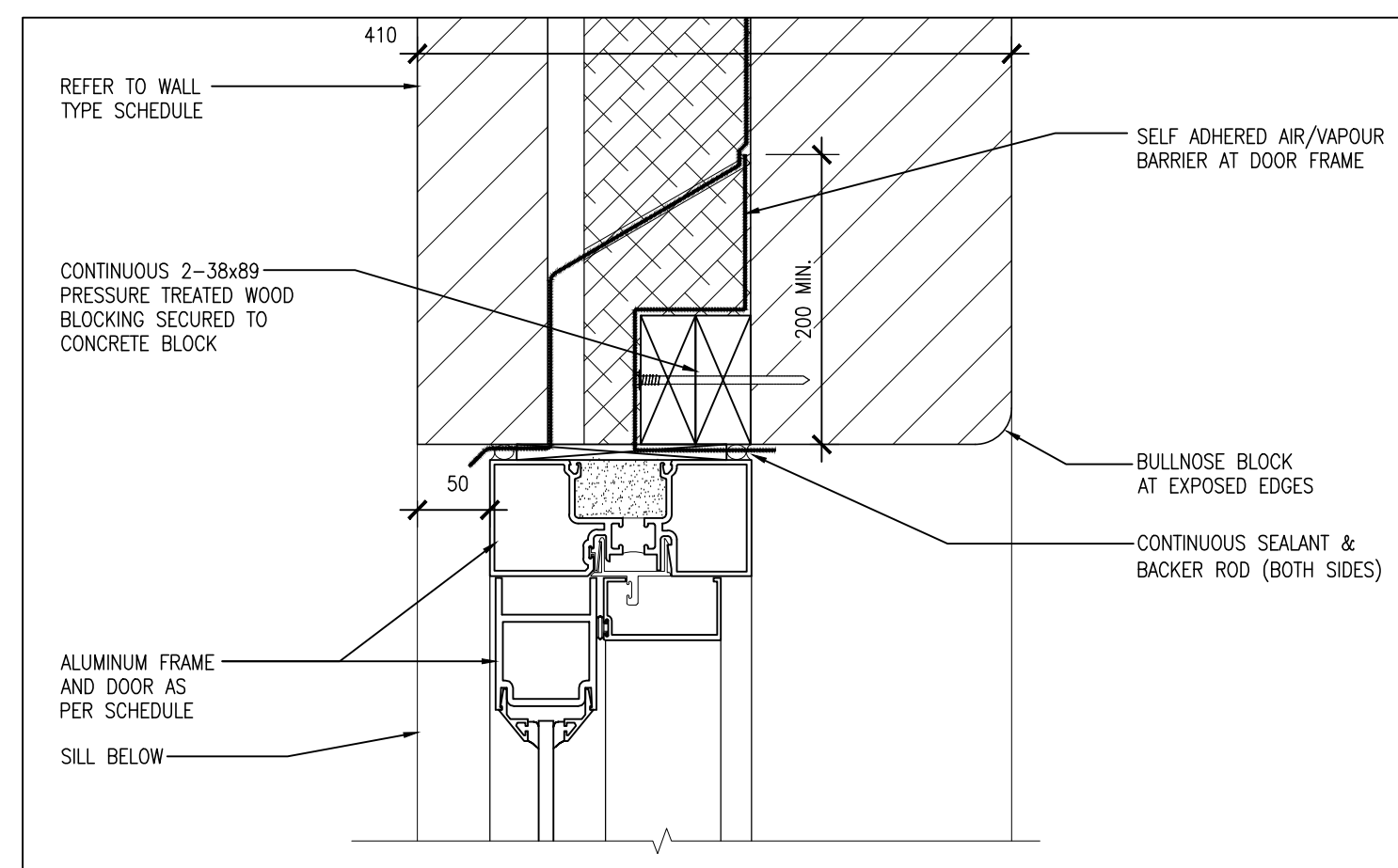
DETAIL H1



DETAIL H2



DETAIL J1



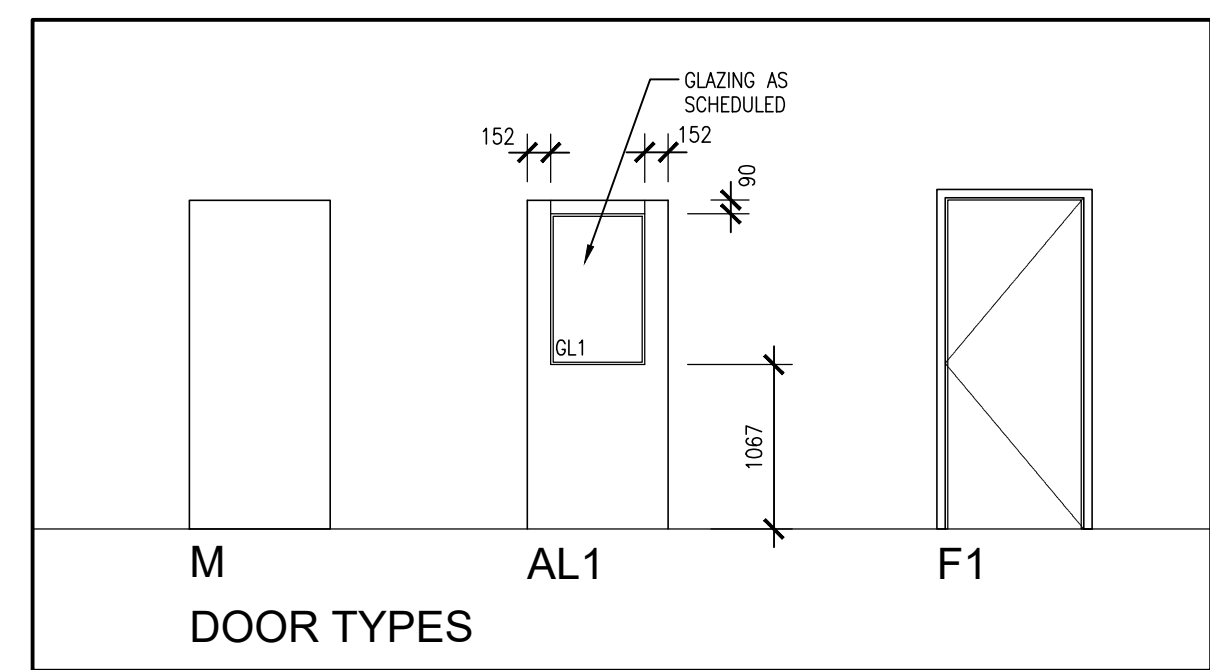
DETAIL J2

DOOR AND FRAME SCHEDULE																				REMARKS		
DOOR				FRAME								DOOR HARDWARE										
NO.	SIZE AND THICKNESS	TYPE	MATERIAL	FINISH	GLASS	TYPE	HEAD	JAMB	THRESHOLD	MATERIAL	FINISH	FIRE	GLASS	CLASPER	DOOR STOP	THRESHOLD	ROCK PLATE	LOCKSET	FRONT	REAR		
101A	965x2150x45	AL1	ALUM.	ANOD.	GL1	F2	H2	J2	ALUM	ANOD.	-	-	-	-	-	-	-	-	-	-	-	CORRIDOR #101
101B	965x2150x45	AL1	ALUM.	ANOD.	GL1	F2	H2	J2	ALUM	ANOD.	-	-	-	-	-	-	-	-	-	-	-	CORRIDOR #101
101C	965x2150x45	AL1	ALUM.	ANOD.	GL1	F2	H2	J2	ALUM	ANOD.	-	-	-	-	-	-	-	-	-	-	-	CORRIDOR #101
102	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	UNIVERSAL WASHROOM (102)
103	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	CHANGE ROOM #1 (103) BARRIER-FREE ACTUATOR
106	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	CHANGE ROOM #2 (106) BARRIER-FREE ACTUATOR
109	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	CHANGE ROOM #3 (109)
112	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	CHANGE ROOM #4 (112)
115	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	CHANGE ROOM #5 (115)
118	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	CHANGE ROOM #6 (118)
121	965x2150x45	M	HM	PAINT	-	F1	H1	J1	HM	PAINT	-	-	-	-	-	-	-	-	-	-	-	REFEREE CHANGE ROOM #121 BARRIER-FREE ACTUATOR

ROOM SCHEDULE														REMARKS
NO.	ROOM NAME	FLOOR	BASE HT. (mm)	WALLS				CEILING	CEILING HEIGHT	REV.				
				NORTH	EAST	SOUTH	WEST							
101	CORRIDOR			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	-	-			
102	UNIVERSAL WASHROOM			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			
103	CHANGE ROOM #1			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
104	WASHROOM #1			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
105	SHOWER #1			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			GYP: BD PLUS MOLD RESISTANT GYPSUM BOARD-P, TRENCH DRAIN-CT ENSURE POSITIVE TRANSITION/HIGH POINT
106	CHANGE ROOM #2			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
107	WASHROOM #2			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
108	SHOWER #2			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			GYP: BD PLUS MOLD RESISTANT GYPSUM BOARD-P, TRENCH DRAIN-CT ENSURE POSITIVE TRANSITION/HIGH POINT
109	CHANGE ROOM #3			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
110	WASHROOM #3			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
111	SHOWER #3			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			GYP: BD PLUS MOLD RESISTANT GYPSUM BOARD-P, TRENCH DRAIN-CT ENSURE POSITIVE TRANSITION/HIGH POINT
112	CHANGE ROOM #4			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
113	WASHROOM #4			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
114	SHOWER #4			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			GYP: BD PLUS MOLD RESISTANT GYPSUM BOARD-P, TRENCH DRAIN-CT ENSURE POSITIVE TRANSITION/HIGH POINT
115	CHANGE ROOM #5			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
116	WASHROOM #5			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
117	SHOWER #5			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			GYP: BD PLUS MOLD RESISTANT GYPSUM BOARD-P, TRENCH DRAIN-CT ENSURE POSITIVE TRANSITION/HIGH POINT
118	CHANGE ROOM #6			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
119	WASHROOM #6			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
120	SHOWER #6			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			
121	REFEREE CHANGE ROOM			MAT. CONC -	FIN. RST P	CB	CB	CB	CB	GYB	-			
122	WASHROOM #7			MAT. CONC -	FIN. CT P	CB	CB	CB	CB	GYB	-			METAL PARTITION & DOOR - PAINTED WASHROOM ACCESSORIES
123	SHOWER #7			MAT. CONC -	FIN. CT CT	CB	CB	CB	CB	GYB	-			GYP: BD PLUS MOLD RESISTANT GYPSUM BOARD-P, TRENCH DRAIN-CT ENSURE POSITIVE TRANSITION/HIGH POINT

GROUND FLOOR

2 A901 1:5 FRAME TYPES



1 A901 1:50 SCREEN TYPES

PROJECT:  
**GRAND VALLEY ARENA RENOVATION & ADDITION**  
DISTRICT COMMUNITY CENTRE  
90 MAIN ST. N  
GRAND VALLEY, ONTARIO, L0N 1G0  
TOWN OF GRAND VALLEY

DRAWING:  
**ROOM AND DOOR SCHEDULES**



**BARRY BRYAN ASSOCIATES**  
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Engineers  
Project Managers  
250 Water Street  
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DESIGN BY: BBA	DOC CONTROL DATE:
DRAWN BY: JJA	% COMPLETE:
CHECKED BY: ---	INITIAL:
DATE: NOV. 23, 2023	SCALE:
FILE: 21171 A901	

PROJECT NO: **21171**  
DRAWING NO: **A901**



GRAND VALLEY

# The Corporation of the Town of Grand Valley

5 Main Street North  
Grand Valley, ON L9W 5S6  
Tel: (519) 928-5652  
Fax: (519) 928-2275

www.townofgrandvalley.ca

## Work Order/Action Request

Roll # \_\_\_\_\_ Received: \_\_\_\_\_ By: \_\_\_\_\_

### Caller's Information:

Name: Margaret Beam

Address: \_\_\_\_\_

Phone Number: 519-928-5675 Other Number: \_\_\_\_\_

Email: \_\_\_\_\_

### Complaint Details:

Name: \_\_\_\_\_ Plan # \_\_\_\_\_

Lot: \_\_\_\_\_ Concession: \_\_\_\_\_ Location: \_\_\_\_\_

Complaint: I would like the council & arena board to be aware, on Nov. 11, I was setting up for coffee after the remembrance day service. Our arena kitchen was a disgrace, sink full of crumbs & scum, floor dirty, tables dirty under main sink filthy. I complained to Mike C. no dish soaps even clear with. He got me some sanitiser & a rag did not even come & check whose job is this? definitely not the people setting up.

Assignment History under main sink still filthy 3 wks later.

Date: \_\_\_\_\_ I was very disappointed with the state of

Assigned To: \_\_\_\_\_ Assigned By: \_\_\_\_\_

Department: the hall we rent, maybe someone should

Subject: monitor who is doing what. I would be ashamed to rent that hall Thanks Margaret Beam

### Follow-Up Comments and Action Taken:

BY: \_\_\_\_\_

Date: \_\_\_\_\_







## GRAND VALLEY & DISTRICT COMMUNITY CENTRE

**FOR BOARD MEETING: Dec.11.2023**

<b>ACCOUNTS PAYABLE</b>		<b>2023</b>	<b>OVERALL TOTAL</b>
		<b>November</b>	<b>JAN. TO NOV.</b>
1024	Loan for Olympia		-
1425	Loan Interest (Olympia)		-
1104	Liabilities (HST/Payroll)		<b>11,004.47</b>
1010	Wages & Benefits	12,908.65	<b>115,839.43</b>
1022	Payroll deductions	1,965.80	<b>17,824.13</b>
1040	Wages & Ben (Admin personnel)	1,219.50	<b>15,969.22</b>
1050	Staff Expense/Recognition		<b>1,239.67</b>
1300	Training & Workshops		-
1320	Professional Fees/Memberships		<b>1,275.31</b>
1420	Bank/Interest Chgs	84.72	<b>449.38</b>
1430	Merchant Chgs - debit/mc/visa	747.44	<b>1,056.63</b>
1440	Accounting/Audit Fees		<b>2,696.64</b>
1460	Insurance		<b>27,961.20</b>
1470	Advertising	56.49	<b>197.40</b>
2010	Consumable Supplies		<b>7,248.95</b>
2015	Concession Booth Supplies	2,703.01	<b>14,952.25</b>
2024	Heat	1,006.51	<b>11,487.79</b>
2030	Hydro	9,029.94	<b>45,199.20</b>
2040	Water/sewer/street lights	520.44	<b>5,084.49</b>
2050	Telecommunications	214.63	<b>3,393.80</b>
2055	Streaming Services		-
2110	Covid-19 Expense		-
2120	Office & Computer Supplies	106.45	<b>4,571.06</b>
2410	R&M - Community Ctre Bldg	778.47	<b>19,885.93</b>
2420	R&M - Arena	281.30	<b>16,772.69</b>
2430	R&M - Concession Booth	326.81	<b>4,024.24</b>
2450	Snow Removal		<b>9,746.25</b>
2460	R&M - Skate Park		-
3025	Equipment chgs - Zamboni/Olympia	406.80	<b>5,455.58</b>
3030	R&M - Compressor Room & Equipment	1,832.22	<b>15,888.31</b>
3055	Annual Inspections	1,045.25	<b>5,913.37</b>
4000	Summer Camp Expense		<b>4,041.87</b>
4021	Pickle Ball Expense		<b>247.83</b>
4040	50th Celebrations		-
7132	Miscellaneous Exp		-
8000	Capital Expenditure		-
9000	Transfer to Reserves		-
			-
<b>GRAND TOTAL</b>		<b>\$ 35,234.43</b>	<b>\$ 369,427.09</b>



# GRAND VALLEY & DISTRICT COMMUNITY CENTRE

FOR BOARD MEETING: 11-Dec-23

RECEIPTS DEPOSITED				November	
Revenue				40,301.03	
Levy payments				29,050.18	
Interest earned				881.37	
Revenue to offset expense					
		<b>total:</b>	-	<b>70,232.58</b>	<b>TOTAL</b>
		<b>Current</b>	<b>Past Due</b>	<b>Total</b>	<b>70,232.58</b>
<b>Accounts Receivable</b>		0.00	791.00	791.00	
<b>Bank Balance as of November 2023</b>					
Capital: \$87,327.47					
Operating: \$129,381.83					
GIC: \$100,000.00					



**Budget Variance Report**

Fiscal Year : 2023 Period : 11

Budget Type : BUDGET VALUES

Account Code : ?-?-????-???? To ?-?-????-????

Acct Code	Acct Desc	Current Month	Year to Date	Budget Amt	Variance	% Variance
<b>Revenue</b>						
<b>7500 COMMUNITY CENTRE</b>						
2-3-7500-3010	Levy Pymt-Amaranth	-6987.24	-77326.98	-77327	-0.02	0.00
2-3-7500-3020	Levy Pymt-East Garafraxa	-4108.00	-41705.96	-45814	-4108.04	8.97
2-3-7500-3030	Levy Pymt-Grand Valley	-17955.00	-182955.00	-200881	-17926.00	8.92
2-3-7500-3200	Prior Year's Surplus/Deficit	0.00	0.00	-25000	-25000.00	100.00
2-3-7500-6010	Ice Rental	-27009.99	-154552.55	-110000	44552.55	-40.50
2-3-7500-6020	Summer Floor Rental	0.00	-3358.36	-200	3158.36	-1579.18
2-3-7500-6030	Summer Camp Reg'ns	0.00	-35652.95	-33000	2652.95	-8.04
2-3-7500-6040	Advertising Signs	0.00	-6575.00	-6000	575.00	-9.58
2-3-7500-6050	Public Skating	-178.76	-1881.84	-2000	-118.16	5.91
2-3-7500-6072	Pickle Ball / Walking Track	0.00	-1278.77	0	1278.77	0.00
2-3-7500-6210	Concession Booth	-7344.18	-23112.13	-15000	8112.13	-54.08
2-3-7500-6410	Hall & Room Rental	-4001.10	-27371.16	-15000	12371.16	-82.47
2-3-7500-6420	Ont Early Years Rental	-1767.00	-19437.00	-21000	-1563.00	7.44
2-3-7500-6610	Donations (not for rental)	0.00	-1483.69	0	1483.69	0.00
2-3-7500-7302	Wage Recovery (Grant/Subsidy)	0.00	-13020.00	-22500	-9480.00	42.13
<b>Total COMMUNITY CENTRE</b>		<b>-69351.27</b>	<b>-589711.39</b>	<b>-573722</b>	<b>15989.39</b>	<b>-2.79</b>
<b>Total Revenue</b>		<b>-69351.27</b>	<b>-589711.39</b>	<b>-573722</b>	<b>15989.39</b>	<b>-2.79</b>

<b>Expense</b>						
<b>7500 COMMUNITY CENTRE</b>						
2-4-7500-1010	Wages & Benefits	12908.65	194154.77	200000	5845.23	2.92
2-4-7500-1020	Wages & Ben - Camp	0.00	36846.94	40000	3153.06	7.88
2-4-7500-1040	Wages&Ben-Admin Personnel	0.00	14750.32	13000	-1750.32	-13.46
2-4-7500-1050	Staff Expense/Recognition	0.00	1100.25	3000	1899.75	63.33
2-4-7500-1300	Training & Workshops	0.00	0.00	3000	3000.00	100.00
2-4-7500-1320	Professional Memberships	0.00	1167.09	1200	32.91	2.74
2-4-7500-1420	Bank / Interest Chgs	2.02	-4144.76	0	4144.76	0.00
2-4-7500-1425	Loan Interest	0.00	0.00	227	227.00	100.00
2-4-7500-1430	Merchant Chgs-debit/mc/visa	0.00	2674.73	2000	-674.73	-33.74
2-4-7500-1440	Accounting/Audit Fees	0.00	2696.64	2800	103.36	3.69
2-4-7500-1460	Insurance	0.00	27961.20	32000	4038.80	12.62
2-4-7500-1470	Advertising	49.99	177.25	250	72.75	29.10
2-4-7500-2010	Replenishable Supplies	0.00	7514.81	4000	-3514.81	-87.87
2-4-7500-2015	Conc Booth Supplies	2563.25	14382.70	6000	-8382.70	-139.71
2-4-7500-2024	Heat	917.88	10193.37	9500	-693.37	-7.30
2-4-7500-2030	Hydro	7991.10	41672.94	65000	23327.06	35.89
2-4-7500-2040	Water/Sewer/Street Lights	520.44	5182.83	6000	817.17	13.62
2-4-7500-2050	Telecommunications	189.94	3497.24	3100	-397.24	-12.81
2-4-7500-2120	Office & Computer Supplies	94.20	4363.89	4000	-363.89	-9.10
2-4-7500-2410	R&M - Community Ctre Bldg	688.91	19640.48	20000	359.52	1.80
2-4-7500-2420	R&M - Arena	248.94	19560.29	20000	439.71	2.20
2-4-7500-2430	R&M - Concession Booth	292.08	3564.14	2000	-1564.14	-78.21



**Budget Variance Report**



Fiscal Year : 2023      Period : 11

Budget Type : BUDGET VALUES

Account Code : ?-?-????-????      To ?-?-????-????

Acct Code	Acct Desc	Current Month	Year to Date	Budget Amt	Variance	% Variance
<b>Expense</b>						
2-4-7500-2430	R&M - Concession Booth	292.08	3564.14	2000	-1564.14	-78.21
2-4-7500-2450	Snow Removal	0.00	8625.00	16000	7375.00	46.09
2-4-7500-3025	Equip Chgs - Zamboni/Olympia	360.00	7685.21	5000	-2685.21	-53.70
2-4-7500-3030	R&M - Compressor Room & Equip	1621.43	14060.45	14000	-60.45	-0.43
2-4-7500-3055	Annual Inspections	925.00	5484.02	5000	-484.02	-9.68
2-4-7500-3060	Asset Management	0.00	48809.12	78500	29690.88	37.82
2-4-7500-4000	Summer Camp Expense	0.00	6557.09	3000	-3557.09	-118.57
2-4-7500-4021	Pickle Ball Expense	0.00	219.51	0	-219.51	0.00
<b>Total COMMUNITY CENTRE</b>		<b>29373.83</b>	<b>498397.52</b>	<b>558577</b>	<b>60179.48</b>	<b>10.77</b>
<b>Total Expense</b>		<b>29373.83</b>	<b>498397.52</b>	<b>558577</b>	<b>60179.48</b>	<b>10.77</b>
<b>Report Total</b>		<b>-39977.44</b>	<b>-91313.87</b>	<b>-15145</b>	<b>76168.87</b>	<b>-502.93</b>